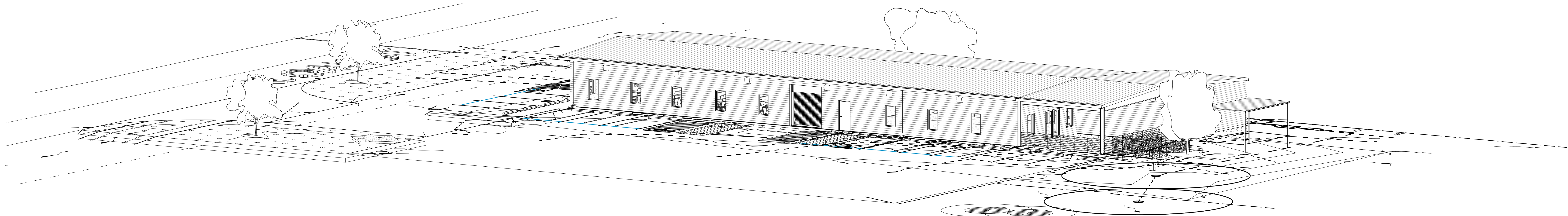


CAMINO REAL WORK FORCE CENTER



1796, I-35BL, Pearsall, TX 78061

DESIGN TEAM

ARCHITECTURE

SJPA

CONTACT: STEVE J. PATMON AIA,
510 EAST RAMSEY RD., SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888
FAX: (210) 979-3880

CIVIL ENGINEERING

S&B INFRASTRUCTURE, LTD.

CONTACT: JOE M. CASTRO JR.,
5805 CALLAGHAN ROAD, SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING

S&B INFRASTRUCTURE, LTD.

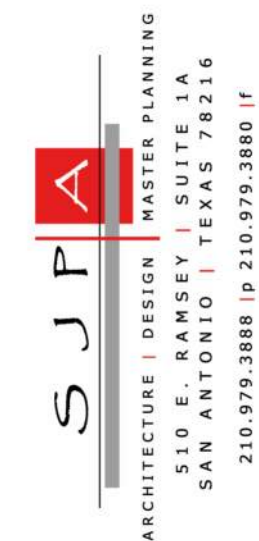
CONTACT: JIE LIU
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING

CLEARY-ZIMMERMANN ENGINEERS

CONTACT: LORENZO SANCHEZ
1344 SOUTH FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100
FAX: (210) 447-6101

RDPIRC: STEVE PATMON, AIA
TDLR NUMBER: TABSXXX
COSA AP#



Revisions

#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S.J.P.A. LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061
FRIO COUNTY

COVER SHEET

IFC SUBMITTAL

Scale: As Indicated

020-004-000

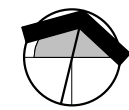
05/05/2021

G-000

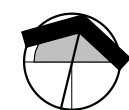
SHEET INDEX

SHEET NO.	SHEET NAME
G	GENERAL
G-000	COVER SHEET
G-001	SHEET INDEX
G-002	SYMBOLS, LEGEND & GENERAL NOTES
G-005	SHEET KEYNOTES
G-006	AREA PLAN
G-100	PERSPECTIVE VIEWS
C	CIVIL
E	PROJECT LAYOUT MAP
C-003	EXISTING TYPICAL SECTIONS
C-004	PROPOSED TYPICAL SECTIONS
C-005	REMOVAL PLAN SHEET
C-006	SITE PLAN
C-007	DIMENSIONAL LAYOUT
C-008	SEPTIC SYSTEM LAYOUT
C-009	CITY OF PEARSALL WATER
C-010	DRIVEWAY DETAILS
C-111	WATER DETAILS
C-112	WATER DETAIL
C-113	WATER DETAIL
C-114A	PEDESTRIAN FACILITIES CURB RAMPS PED-18
C-114B	PEDESTRIAN FACILITIES CURB RAMPS PED -18
C-114C	PEDESTRIAN FACILITIES CURB RAMPS PED -18
C-114D	PEDESTRIAN FACILITIES CURB RAMPS PED -18
C-115	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES FENCE & VERTICAL TRACKING EC(1)-16
C-117	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES SWALES (EARTHWORK FOR EROSION CONTROL) EC(5)-16
C-118	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES TEMPORARY PIPE SLOPE DRAINS EC(7)-16
C-119	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES TEMPORARY PAVED FLUMES EC(8)-16
C-120	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC(9)-16
C-121	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC(9)-16
C-122	TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC(9)-16
A	ARCHITECTURAL
D	OVERALL DEMOLITION SITE PLAN
AD-100	ENLARGED DEMO FLOOR PLAN
AD-101	ENLARGED DEMOLITION ROOF PLAN
AD-200	DEMO ELEVATIONS
AD-301	DEMO SECTIONS
AD-401	ENLARGED DEMOLITION FLOOR PLANS
AD-501	SITE IMAGES
AD-502	SITE IMAGES
A-100	OVERALL SITE PLAN
A-101	OVERALL FLOOR PLAN AND RCP
A-102	OVERALL ROOF PLAN
A-200	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-400	ENLARGED FLOOR PLANS
A-401	ENLARGED TOILET PLANS
A-402	ENLARGED TOILET PLAN & ELEVATIONS
A-501	WALL SECTIONS
A-504	PLAN DETAILS
A-506	SECTION DETAILS
A-508	WINDOW DETAILS
A-509	DOOR DETAILS
A-510	DOOR DETAILS
A-540	EXTERIOR CIRCULATION PLANS AND SECTIONS
A-600	DOOR & WINDOW SCHEDULE
I	INTERIORS
I-101	INTERIOR PERSPECTIVE VIEWS
I-200	INTERIOR ELEVATIONS
I-300	OVERALL AND ENLARGED MILLWORK PLANS
I-301	MILLWORK ELEVATIONS
I-302	MILLWORK SECTIONS AND DETAILS
I-401	ENLARGED FLOOR FINISH AND PAINT PLANS
I-600	ROOM FINISH SCHEUDLE AND MATERIALS SCHEDULE
I-605	PARTITION TYPES
S	STRUCTURAL
S-001	GENERAL NOTES AND TYPICAL DETAILS
S-002	FOUNDATION PLAN
S-003	SECTION DETAILS
S-004	FOOTING DETAILS
M	MECHANICAL
M-000	MECHANICAL SYMBOLS & ABBREVIATIONS
MD-101	MECHANICAL FLOOR PLAN-DEMOLITION
M-101	MECHANICAL FLOOR PLAN
M-301	MECHANICAL SCHEDULES
M-501	MECHANICAL DETAILS
P	PLUMBING
P-000	PLUMBING SYMBOLS AND ABBREVIATIONS
PD-101	PLUMBING DEMOLITION PLAN
P-101	PLUMBING UNDERFLOOR PLAN
P-111	PLUMBING FLOOR PLANS
P-301	PLUMBING SCHEDULES
P-401	PLUMBING RISERS
P-501	PLUMBING DETAILS
E	ELECTRICAL
E-000	ELECTRICAL SYMBOLS & ABBREVIATIONS
E-001	ELECTRICAL SITE PLAN
ED-101	ELECTRICAL FLOOR PLAN - DEMOLITION
E-101	LIGHTING FLOOR PLAN
E-201	POWER FLOOR PLAN
EM-201	MECHANICAL POWER FLOOR PLAN
E-301	SPECIAL SYSTEMS FLOOR PLAN
E-401	ELECTRICAL ONE-LINE DIAGRAM
E-501	ELECTRICAL SCHEDULES AND DETAILS
E-601	ELECTRICAL DETAILS

VICINITY MAP



BUILDING SITE LOCATION



REGISTERED ARCHITECT

STEVE J. PATMON, AIA

SJPA, LLC.

510 EAST RAMSEY RD.,

SUITE 14

SAN ANTONIO, TX 78216

PHONE: (210) 979-3888

210.979.3888

IP 210.979.3880

IT

ARCHITECT

STEVE J. PATMON, AIA

SJPA, LLC.

510 EAST RAMSEY RD.,

SUITE 14

SAN ANTONIO, TX 78216

PHONE: (210) 979-3888

CIVIL ENGINEERING

JOE M. CASTRO JR.

S&B INFRASTRUCTURE

LTD.

5805 CALLAGHAN ROAD,

SUITE 202

SAN ANTONIO, TX 78228

PHONE: (210) 706-5800

STRUCTURAL ENGINEERING

JIE LIU

S&B INFRASTRUCTURE,

LTD.

15150 MEMORIAL DRIVE

HOUSTON, TX 77079

PHONE: (713) 302-0700

MEP

LORENZO SANCHEZ

CLEARY ZIMMERMANN

ENGINEERS

1344 S. FLORES, SUITE 101

SAN ANTONIO, TX 78204

PHONE: (210) 447-6100

REGISTERED ARCHITECT

STEVE J. PATMON, AIA

SJPA, LLC.

510 EAST RAMSEY RD.,

SUITE 14

SAN ANTONIO, TX 78216

PHONE: (210) 979-3888

05/05/21

CAMINO REAL WORK FORCE CENTER

1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

SHEET INDEX

IFC SUBMITTAL

Scale: As Indicated

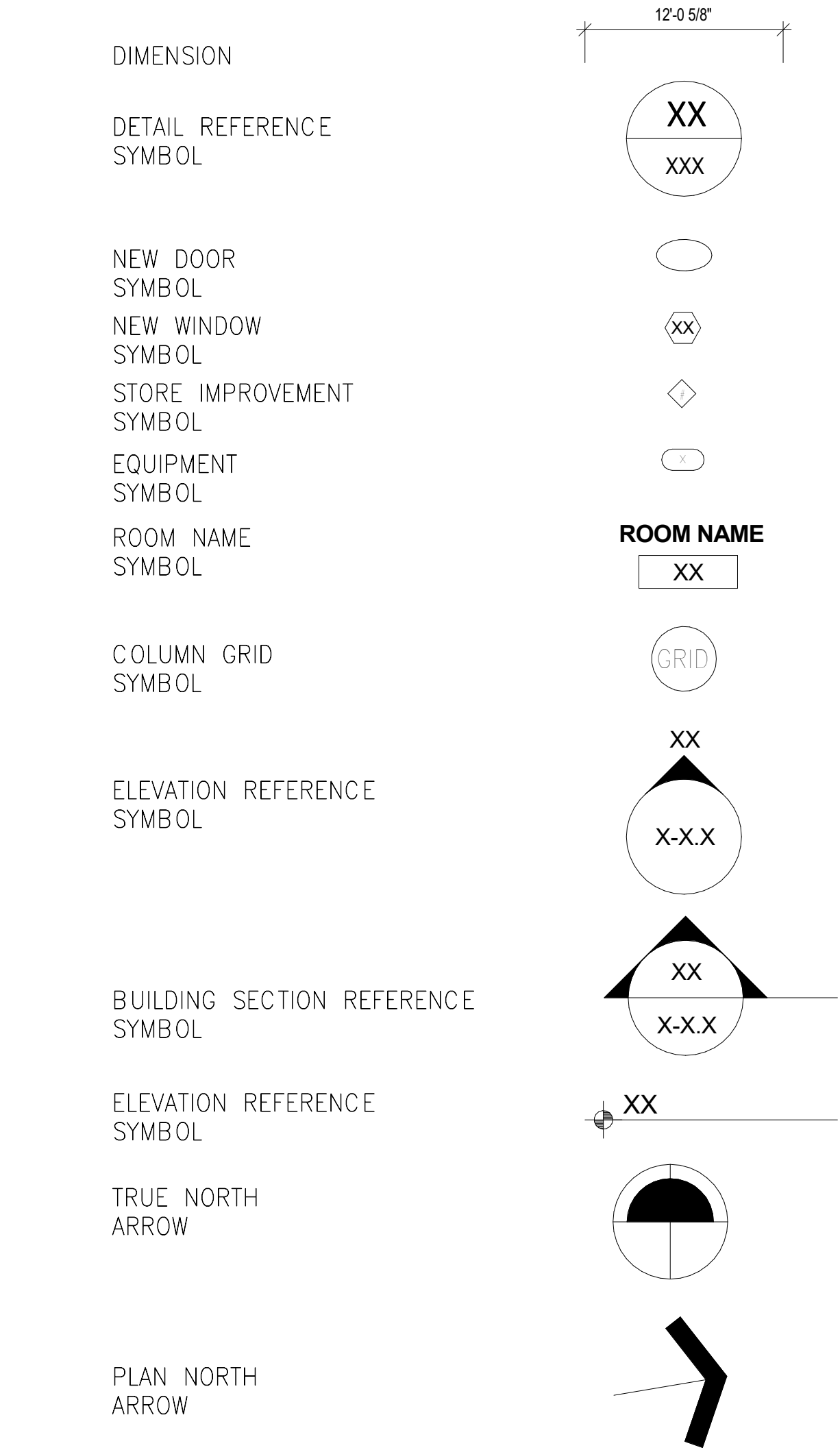
020-004-000

05/05/2021

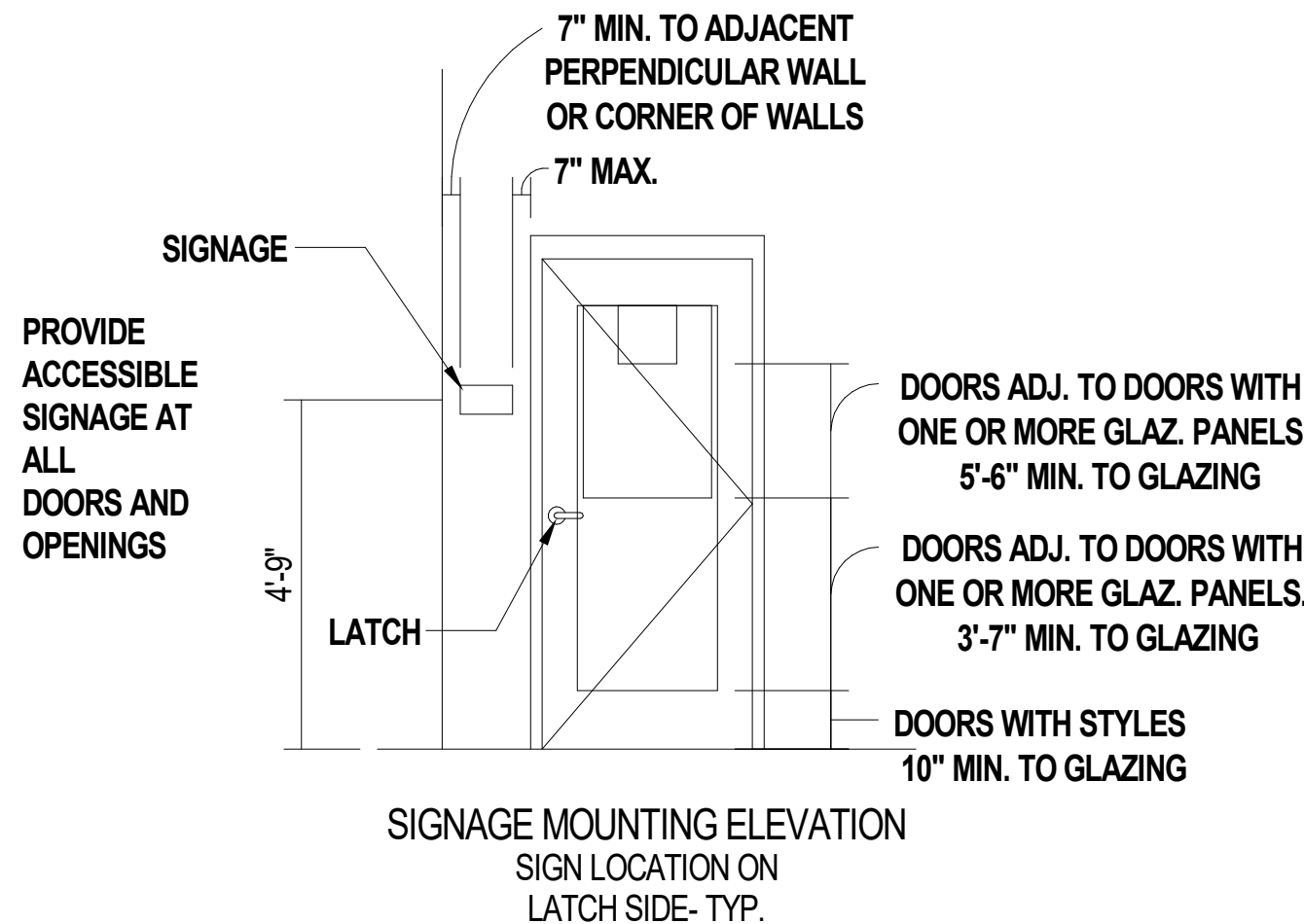
G-001

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

ADA SIGNAGE DETAIL



ADA SIGNAGE DETAIL



ABBREVIATIONS

@	AT	BRZ	BRONZE	D	DEPTH	EJ	EXPANSION JOINT	HCWD	HOLLOW CORE WOOD DOOR	MECH	MECHANICAL	PLAS	PLASTER	RZ	RISER	THR	THRESHOLD
ABV	ABOVE	BLDG	BUILDING	DEM	DEMOLISH	EXP	EXPOSED	HDF	HIGH DENSITY FIBER BOARD	MC	MEDICINE CABINET	PLF	POUNDS PER LINEAR FOOT		TMP	TEMPERED	
AFF	ABOVE FIN. FLR	BL	BUILDING LINE	DTL	DETAIL	EXT	EXTERIOR	HM	HOLLOW METAL	MED	MEDIUM	PSF	POUNDS PER SQUARE FOOT	SCHED	SCHEDULE	TOB	TOP OF BEAM
ACoust	ACOUSTICAL	BUR	BUILT UP ROOF	DIAG	DIAGONAL	FV	FIELD VERIFY	HORIZ	HORIZONTAL	MTL	METAL	PSI	POUNDS PER SQUARE INCH	SCWD	SOLID CORE WOOD DOOR	TOJ	TOP OF JOIST
ACT	ACOUSTICAL TILE			DIA	DIAMETER	FOW	FACE OF WALL	HB	HOSE BIB	MIN	MINIMUM	PT	POINT	SD	SMOKE DETECTOR	TOS	TOP OF STEEL
ADA	AMERICANS WITH DISABILITIES ACT	CAB	CABINET(S)	DIM	DIMENSION	FOS	FACE OF STUD(S)			MIR	MIRROR	PT. GD.	POINT GRADE	SECT	SECTION	TOW	TOP OF WALL
ADJ	ADJUSTABLE	CO	CASED OPENING	DISP	DISPOSAL	FRP	FIBERGLASS REINFORCED PLASTER	INCAND	INCANDESCENT	MISC	MISCELLANEOUS	PTC	POST-TENSIONED CONCRETE	SF	SQUARE FEET	TSL	TOP OF SLAB
AFG	ABOVE FINISH GRADE	CSMT	CASEMENT	DIV	DIVISION	FIN	FINISH(ED)	INCL	INCLUDE(D)	MLD	MOLDING	PTD	PAINTED	SH	SHELF(VES)	TV	TELEVISION
AGG	AGGREGATE	CL	CENTER LINE	DR	DOOR	FF	FINISHED FLOOR	ID	INSIDE DIAMETER	MULL	MULLION	PUE	PUBLIC UTILITY EASEMENT	SHT	SHEET	TYP	TYPICAL
A/C	AIR CONDITIONING	CLG	CEILING	DH	DOUBLE HUNG	FE	FIRE EXTINGUISHER	INSUL	INSULATE(D)	MERCH	MERCHANDISE	PVC	POLYVINYL CHLORIDE	SIM	SIMILAR		
ALT	ALTERNATE	CEM	CEMENT	DS	DOWNSPOUT	FLR	FLOOR(ING)	INT	INTERIOR	MFMI	MANUF. FURN. MANUF. INST.	PVMT	PAVEMENT	SK. LT.	SKYLIGHT	UNF	UNFINISHED
ALUM	ALUMINUM	CER	CERAMIC	DWR	DRAWER	FD	FLOOR DRAIN	INV	INVERT				SPEC	SPECIFICATONS	UNO	UNLESS NOTED OTHERWISE	
AB	ANCHOR BOLT	CT	CERAMIC TILE	DWG	DRAWING	FLOUR	FLUORESCENT		NAT	NATURAL		QT	QUARRY TILE	SQ	SQUARE	UR	URINAL
ANOD	ANODIZED	CIR	CIRCLE	DF	DRINKING FOUNTAIN	FTG	FOOTING	JT	JOINT	NIC	NOT IN CONTRACT		SS	STAINLESS STEEL			
APPX	APPROXIMATE	CLR	CLEAR(ANCE)	DW	DISHWASHER	FDN	FOUNDATION	JST	JOIST	NOM	NOMINAL	RA	RETURN AIR	STD	STANDARD	VB	VAPOR BARRIER
ARCH	ARCHITECT(URAL)	CR	COLD ROLLED						MR	NOISE REDUCTION		RAD	RADIUS	STG.	STORAGE	VC	VINYL COMPOSITION
ASPH	ASPHALT	COL	COLUMN	EA	EACH	GA	GAGE, GAUGE	LAM	LAMINATE	NTS	NOT TO SCALE	RD	ROOF DRAIN	ST. GD.	STAIN GRADE	VERT	VERTICAL
AUTO	AUTOMATIC	COMP	COMPOSITE	EW	EACH WAY	GALV	GALVANIZED	LAV	LAVATORY	RE	REFER	STL	STEEL	VT	VINYL TILE		
		CONC	CONCRETE	EF	EACH FACE	GI	GALVANIZED IRON	LH	LEFT HAND	OC	ON CENTER(S)	REF	REFRIGERATOR	STRUCT	STRUCTURAL	VTR	VENT THROUGH ROOF
BFF	BELOW FINISH FLOOR	CMU	CONCRETE MASONRY UNIT	EIFS	EXTERIOR INSULATION FINISH SYSTEM	GC	GENERAL CONTRACTOR	L	LENGTH	OD	OUTSIDE DIAMETER	REG	REGISTER	STSM	STANDING SEAM		
BSMT	BASEMENT	CONST	CONSTRUCTION	ELECT	ELECTRIC(AL)	GL	GLASS, GLAZING	LT	LIGHT	OH	OVERHEAD	REINF	REINFORCE(D)	SUSP.	SUSPENDED	W	WIDTH
BRG	BEARING	CONT	CONTINUOUS	EWG	ELECTRIC WATER COOLER	GD	GRADE(ING)	LF	LINEAR FEET	OPG	OPENING	REM	REMOVE	SYM	SYMMETRY	W/	WITH
BM	BENCH MARK	CJ	CONTROL JOINT	EL	ELEVATION	GYP BD	GYP SUM BOARD	LL	LIFE LOAD	OPP	OPPOSITE	REQD	REQUIRED	SYP	SOUTHERN YELLOW PINE	WC	WATER CLOSET
BTWN	BETWEEN	CG	CORNER GURAD	ELEV	ELEVATOR				OPP HND	OPPOSITE HAND	RES	RESILIENT	SAUAW	SAN ANTONIO USED APPLIANCES WAREHOUSE	WD	WOOD	
BVL	BEVELED	CTR	COUNTER	EMER	EMERGENCY	HC	HANDICAPPED	MH	MANHOLE			REV	REVISION(S)			WH	WATER HEATER
BLK	BLOCK	CRS	COURSE(S)	ENG	ENGINEERING	HDW	HARDWARE	MFR	MANUFACTURE(R)	P	PAVING	RFG	ROOFING	TC	TOP OF CURB	WI	WROUGHT IRON
BLKG	BLOCKING	CF	CUBIC FOOT	EQ	EQUAL	HTG	HEATING	MRB	MARBLE	PCF	POUNDS PER CUBIC FOOT	RH	RIGHT HAND	TR	TREAD	WIN	WINDOW
BD	BOARD	CFM	CUBIC FOOT PER MINUTE	EQUIP	EQUIPMENT	HVAC	HEATING / VENTILATING AIR CONDITIONING	MAS	MASONRY	PED	PEDESTAL	RM	ROOM	T&G	TONGUE AND GROOVE	W/O	WITHOUT
BW	BOTH WAYS	CY	CUBIC YARD	EST	ESTIMATE(D)	HT	HEIGHT	MO	MASONRY OPENING	PH	PHONE	RO	ROUGH OPENING	TAS	TEXAS ACCESSIBILITY STANDARDS	WOLM	WOLMANIZED
BOTT	BOTTOM	CFGI	CONTR. FURN. CONTR. INSTALLED	EXH	EXHAUST	H	HIGH	MTL	MATERIAL(S)	PL	PLATE	ROW	RIGHT OF WAY	TEL	TELEPHONE	WP	WATER PROOF(ING)
BRK	BRICK			EXIST	EXISTING	HC	HOLLOW CORE	MAX	MAXIMUM	PLAM	PLASTIC LAMINATE	RSC	ROUGH SAWN CEDER	THK	THICK(NESS)	WWF	WELDED WIRE FABRIC

GENERAL NOTES - DRAWINGS

NO	DESCRIPTION
1	DO NOT SCALE THE DRAWINGS. SUBMIT RFI TO ARCHITECT TO VERIFY AND CONFIRM DIMENSIONAL DISCREPANCIES AND UNDEFINED DIMENSIONS.
2	ALL EXTERIOR PLAN DIMENSIONS ARE SHOWN TO FACE OF WALL.
3	ALL INTERIOR DIMENSIONS ARE SHOWN TO FACE OF WALL OR PARTITION, INCLUDING GYP. BD. WALLS. DIMENSIONS SHOULD NOT BE INTERPRETED TO BE TO FINISHES SUCH AS TILE.
4	UNLESS NOTED OTHERWISE, ALL DOOR FRAMES LOCATED IN PARTITIONS ARE TO BE PLACED WITH THE FACE OF HINGE / JAMB 4" FROM THE ADJACENT PARTITION.

GENERAL NOTES - DETAIL REFERENCES

NO	DESCRIPTION
1	REFERENCE G-SHEETS FOR GRAPHIC CONVENTIONS USED ON ARCHITECTURAL SHEETS.
2	REFERENCE I-SHEETS FOR TYPICAL PARTITION TYPES.
3	REFERENCE G-SHEETS FOR REACH RANGES, OPERATING CONTROL HEIGHTS, AND OTHER ACCESSIBILITY STANDARDS.
4	REFERENCE A-600 SHEETS FOR DOOR ELEVATIONS, TYPES, NOTES, LEGENDS AND SCHEDULES.
5	REFERENCE A-600.1 SHEETS FOR WINDOW / CURTAINWALL / STOREFRONT ELEVATIONS, TYPES, NOTES, LEGENDS AND SCHEDULES.
6	REFERENCE I-SHEETS FOR ROOM FINISH SCHEDULE, PAINT FINISH PLAN AND MATERIAL SELECTIONS.

GENERAL NOTES - SITE WORK

NO	DESCRIPTION
1	CONTRACTOR MUST COMPLY WITH APPLICABLE AND SPECIFIED REGULATIONS AND REQUIREMENTS TO CONTROL SEDIMENTATION AND EROSION. REFERENCE CIVIL DRAWINGS FOR SWP3 REQUIREMENTS
2	CONTRACTOR SHALL MAINTAIN ALL AREAS OF CONSTRUCTION USE WITH CONSIDERATION OF SWP3 REQUIREMENTS AND PER OWNER APPROVAL.
3	CONTRACTOR SHALLTAKE EFFECTIVE MEASURES TO MINIMIZE DUST GENERATION FROM THE WORK SITE.
4	CONTRACTOR SHALL PATCH AND REPAIR AREAS DISTURBED DURING CONSTRUCTION TO AN EQUAL OR BETTER CONDITION THAN PRIOR TO DISTURBED CONDITION. REFERENCE SPECIFICATIONS FOR EXISTING CONDITION DOCUMENTATION REQUIREMENTS.
5	CONTRACTOR'S AREAS OF WORK SHALL BE LOCATED AND MANAGED IN A MANNER TO ELIMINATE INTERFERENCE WITH OWNERS USE OF NON-CONSTRUCTION AREAS OF THE SITE, PER OWNER APPROVAL.

GENERAL NOTES - ACCESSIBILITY

NO	DESCRIPTION
1	THIS FACILITY HAS BEEN DESIGNED WITH CONSIDERATION AND COMPLIANCE WITH THE TEXAS ACCESSIBILITY STANDARD. REFERENCE G-ADA SHEET FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY ACCOMMODATIONS AND COMPLIANCE.
2	THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE CURRENT TEXAS ACCESSIBILITY (TAS) STANDARDS AVAILABLE FOR REVIEW AT THE PROJECT SITE. THE STANDARD IS AVAILABLE AT NO COST.
3	ACCESSIBLE ROUTES WITHIN THE FACILTY SHALL UTILIZE SLOPES NO GREATER THAN 1:20 AND CROSS SLOPES NO GREATER THAN 1:48.



Revisions	
#	Description

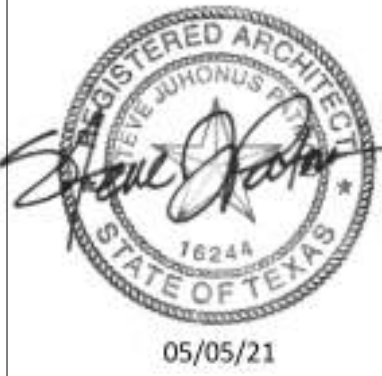
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE, LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

**SYMBOLS.
LEGEND &
GENERAL
NOTES**

IFC SUBMITTAL

Scale: As Indicated

020-004-000

05/05/2021

G-002

SHEET KEYNOTE MASTER SCHEDULE

NO.	NOTE
1	NOT USED
2	8" MTL. STUDS INLINE W/ EXISTING 8" GIRTS (W/ INSULATION) REF. PARTITION TYPES AND SPEC.
3	EXISTING LANDSCAPING TO BE SELECTIVLY REMOVED (TYP.) REF. CIVIL DWGS AND SPEC.
4	DOOR (TYP.) REF. SCHED. AND SPEC.
5	STRIPING (PTD.) (TYP.) REF. SPEC. AND CIVIL DWGS.
6	PREFIN. 24 GA. GALV. MTL. CONDUCTOR HEAD AND SCUPPER - SMACNA FIG. (1-27A) GALV. DOWNSPOUT (TYP.) REF. SPEC.
7	CONC. SPLASH BLOCK (TYP.) REF. SPEC.
8	CONCRETE FLAT WORK REF. CIVIL DWGS.
9	REF. TOILET ACCESSORIES FOR ADDITIONAL EQUIPMENT
10	CORNER GUARD (TYP.) REF. MTRL. SCHED. AND SPEC.
11	8" MTL. STUDS INLINE W/ 8" GIRTS (W/ INSULATION) REF. PARTITION TYPES AND SPEC.
12	PREFIN. MTL. WINDOW SILL (PTD.) (TYP.) REF. FINISH SCHED. AND SPEC.
13	SOLID SURFACE WINDOW SILL (TYP.) REF. FINISH SCHED. AND SPEC.
14	ELECTRICAL EQUIPMENT REF. MEP
15	LIGHT FIXTURE (TYP.) REF. MEP
16	GYP. BD. (PTD.)(TYP.) REF. WALL PARTITION TYPES, FINISH PLAN, AND SPEC.
17	TILE WAINSCOT W/ CEMENTITIOUS BACKER (TYP.) REF. SCHED. AND SPEC.
18	SINK (TYP.) REF. MEP
19	SINK PIPING W/UNDER LAVATORY GUARD (TYP.) REF. MEP AND SPEC.
20	FLOOR FINISH (TYP.) REF. FINISH SCHED.
21	INSULATED MTL. FRAMED WALL (TYP.) REF. DIMENSIONAL PLANS, WALL PARTITION TYPES, AND SPEC.
22	TOILET (TYP.) REF. MEP
23	SOLID SURFACE COUNTERTOP REF. I-SHEETS, FINISH SCHED., AND SPECS.
24	OVERHEAD COILING DOOR ATTACHED TO PEMB STRUCT. AS REQ'D REF. SCHED. AND SPEC.
25	1-1/2" DIA. STL PIPE GUARDRAIL (TYP.)(PTD.) REF. SPEC.
26	CONCRETE SIDEWALK WITH BROOM FINISH (TYP.) REF. CIVIL DWGS
27	NOT USED
28	MILLWORK (TYP.) REF. I-300
29	CONCRETE RAMP (SEALED) (TYP.) REF. STRUCT. DWGS
30	WATER RESISTIVE BARRIER OVER 5/8" SHEATHING (TYP.) REF. PARTITION TYPES AND SPEC.
31	STEEL COLUMN (EXPOSED COLUMN CONDITIONS SHALL BE PTD.)(TYP.) REF. PEMB DWGS
32	WALL MOUNTED FIRE EXTINGUISHER CABINET (TYP.) REF. LS SHEETS AND SPEC.
33	DOCK BUMPER (TYP) REF. SPEC.
34	CONCRETE FOUNDATION (TYP) REF. STRUCT. DWGS
35	PIPE RAILING VERTICALS TO BE CORE DRILLED AND GROUT FILLED (TYP.) AT 4'-0" O.C. MAX.
36	PREFIN. MTL. ROOF PANEL (TYP.) REF. SCHED. AND SPEC.
37	PREFIN. MTL. SOFFIT PANEL (TYP.) REF. SCHED. AND SPEC.
38	NOT USED
39	PREFIN. MTL. FASCIA PANEL (TYP.) REF. SCHED. AND SPEC.
40	8" C-CHANNEL, 14 GA. ATTACHED TO WALL AS REQ'D (TYP.) BY PEMB
41	STEEL STRUCT. (EXPOSED STRUCT. STEEL CONDITIONS SHALL BE PTD.)(TYP.) REF. PEMB DWGS
42	PREFIN. MTL. THRESHOLD (TYP.) REF. SCHED. AND SPEC.
43	CEILING (TYP.) REF. SCHED. AND SPEC.
44	PREFIN. MTL. DOWNSPOUT (TYP.) REF. SPEC.
45	WALL BASE (TYP.) REF. SCHED. AND SPEC.
46	FLOOR DRAIN (TYP.) REF. MEP
47	MECHANICAL EQUIPMENT (TYP.) REF. MEP
48	FLOOR SINK (TYP.) REF. MEP
49	TREATED WOOD BLOCKING SECURELY ATTACHED AS REQUIRED (TYP.) REF. SPEC.
50	URINAL (TYP.) REF. MEP AND SPEC.
51	COUNTERTOP W/BASE CABINETS REF. MILLOWRK PLANS AND SPEC.
52	CASED OPENING (TYP.)
53	DRINKING FOUNTAIN REF. MEP AND SPEC.
54	0.5% SLOPE TO DRAIN (TYP.) COORD. WITH FLOOR FINISH AND OTHER DISCIPLINES AS REQ'D.
55	PREFIN. MTL. PANEL REF. EXT. MATERIAL SCHED. AND SPEC.
56	RECESSED FIRE EXTINGUISHER CABINET (TYP.) REF SPEC.
57	1-1/2" DIA. STL. PIPE GUARDRAIL W/ 1-1/2" MAX. DIA. HANDRAIL (TYP.)(PTD.) REF. SPEC.
58	DUCTWORK (TYP.) REF. MEP
59	PREFIN. MTL. GUTTER (TYP.) REF. SPEC.
60	METAL FRAMED WINDOW (TYP.) REF. WINDOW SCHED. AND SPEC.
61	1-1/2" MAX. DIA. STL. PIPE (TYP.) (PTD.) WALL MOUNTED HANDRAIL (TYP.) REF. SPEC.
62	CONT. SEALANT W/ BACKER ROD AS REQUIRED (TYP.) REF. SPEC.
63	CCTV (TYP.) BY OTHERS
64	EXISTING STRUCTURE TO REMAIN AND PROTECTED IN PLACE (TYP.)
65	FLASHING (TYP.) PER MANUF. GUIDELINES
66	UPPER CABINETS (TYP.) REF. MILLWORK PLANS AND SPEC.
67	ELECTRICAL OUTLET (TYP.) REF. MEP.
68	CARD READER (TYP.) BY OTHERS
69	8" WATER MAIN
70	8" WATER VALVES
71	2" SERVICE LINE
72	16" STEEL CASING
73	SEPTIC SYSTEM



Revisions	
#	Description Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC.
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY

SHEET
KEYNOTES

IFC SUBMITTAL

Scale: As Indicated

020-004-000

05/05/2021

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

G-005

Room Legend

- CHANGING ROOM
- CONFERENCE ROOM
- COPY / COFFEE
- CORRIDOR
- DAY ROOM
- DINING
- IT. / ELECT. ROOM
- JANITOR'S ROOM
- KITCHEN
- LAUNDRY ROOM
- MEN'S TOILETS
- OFFICE
- OPEN AREA
- PANTRY
- PATIO
- STORAGE
- WOMEN'S TOILETS

ROOM SCHEDULE - AREAS			
ROOM NAME	ROOM NO.	AREA	DEPARTMENT
CORRIDOR	100	633 SF	CIRCULATION
OFFICE	101	152 SF	OFFICE
OFFICE	102	133 SF	OFFICE
OFFICE	103	133 SF	OFFICE
CONFERENCE ROOM	104	179 SF	ADMIN
COPY / COFFEE	105	109 SF	ADMIN
KITCHEN	106	407 SF	FOOD PREP
PANTRY	106.1	86 SF	FOOD PREP
IT. / ELECT. ROOM	107	80 SF	UTILITY
JANITOR'S ROOM	108	80 SF	UTILITY
LAUNDRY ROOM	109	137 SF	UTILITY
CHANGING ROOM	110	159 SF	TOILET / BATH
CORRIDOR	111	709 SF	
WOMEN'S TOILETS	112	233 SF	TOILET / BATH
MEN'S TOILETS	113	237 SF	TOILET / BATH
STORAGE	114	64 SF	UTILITY
OPEN AREA	115	1891 SF	OPEN
DINING	116	625 SF	OPEN
DAY ROOM	117	664 SF	OPEN
PATIO	118	632 SF	
Grand total		7343 SF	

GENERAL NOTES (GN)

- REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).

Revisions

#	Description	Date

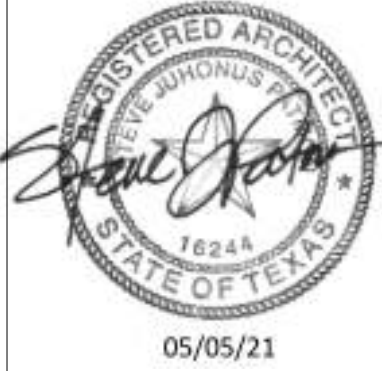
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S/JPA, LLC.
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



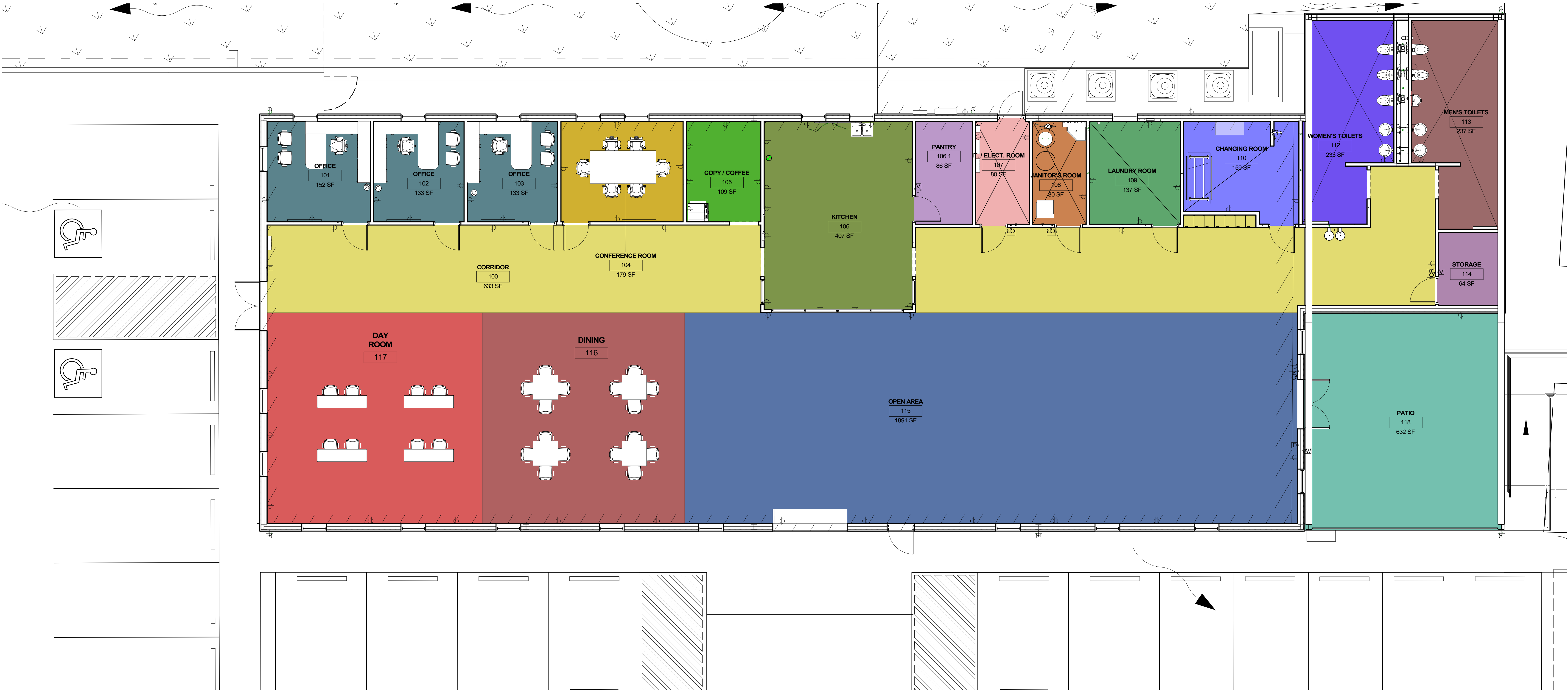
CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY

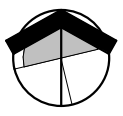
AREA PLAN

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

G-006



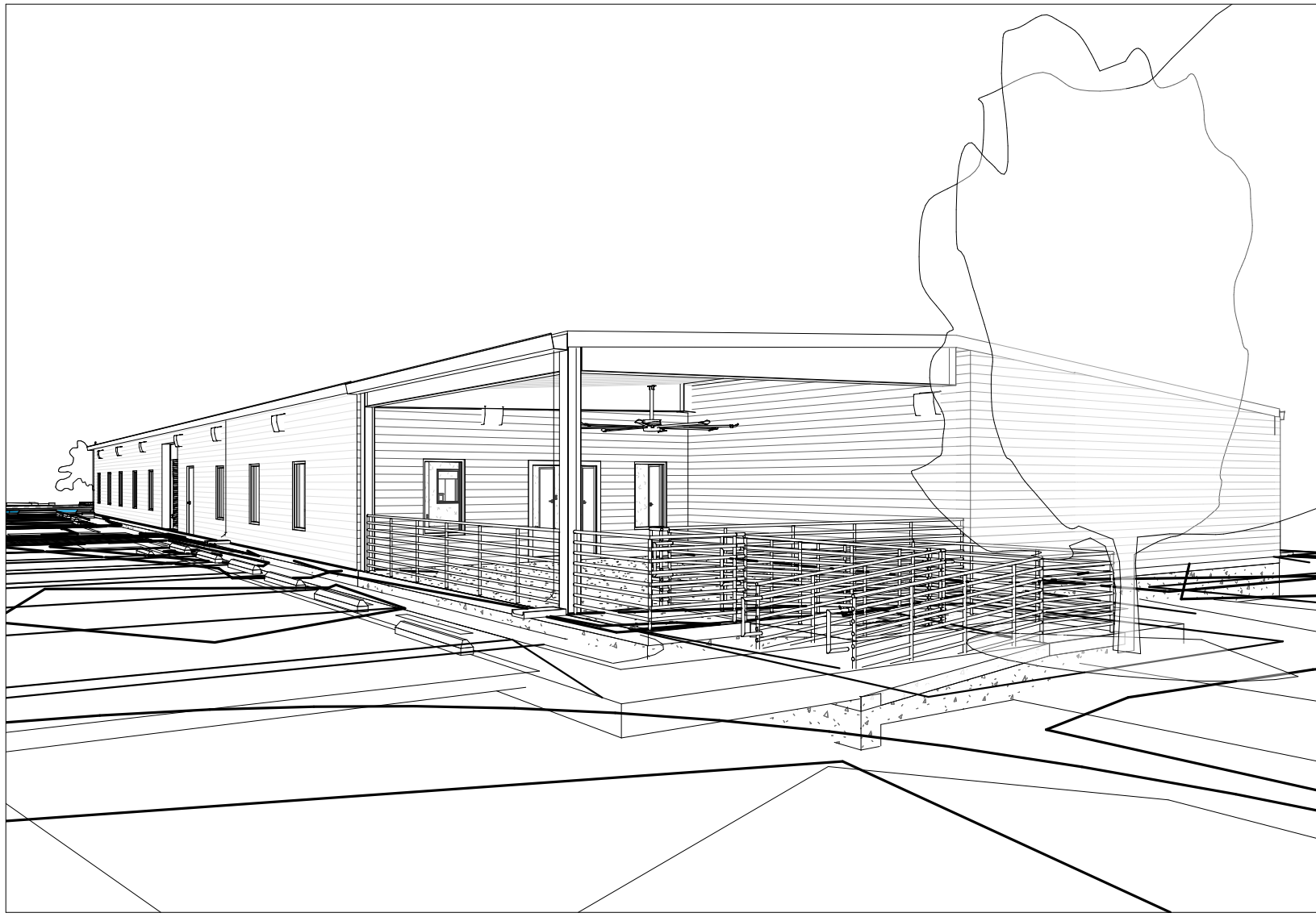
1 OVERALL AREA FLOOR PLAN
3/16" = 1'-0"



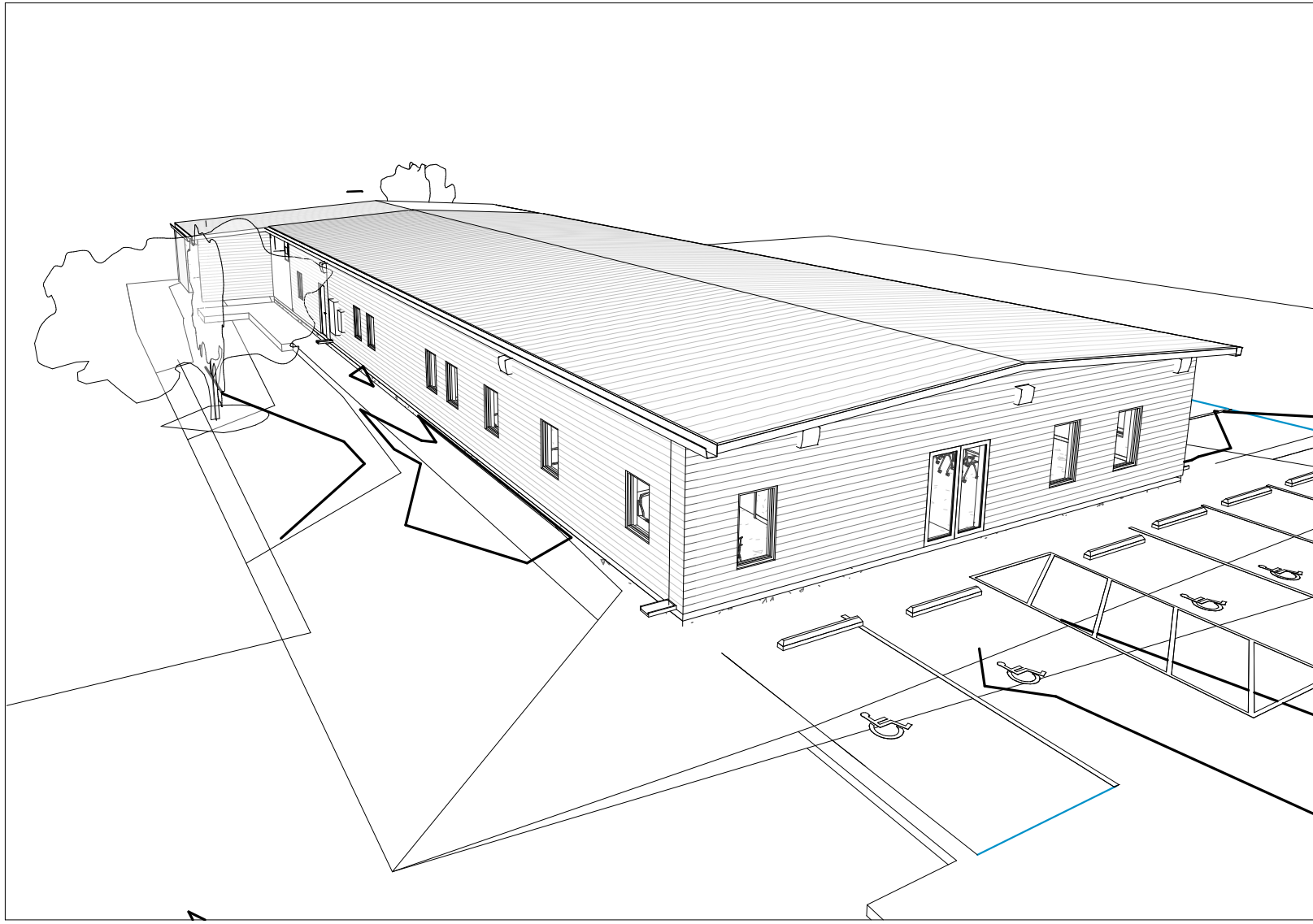
PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S/JPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S/JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 EXTERIOR PERSPECTIVE



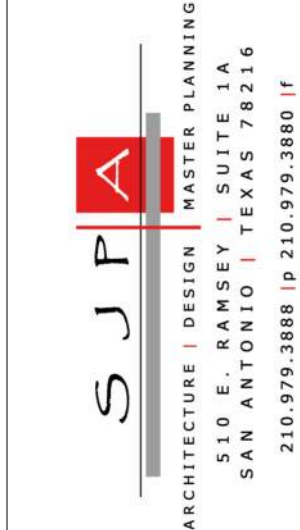
2 EXTERIOR PERSPECTIVE



3 EXTERIOR PERSPECTIVE

GENERAL NOTES (GN)

- 1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- 2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- 3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- 4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- 5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- 6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- 7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions

#	Description	Date

SHEET KEYNOTES

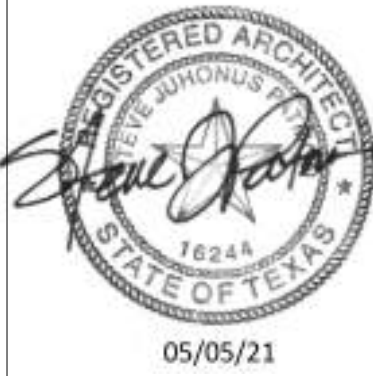
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S.J.P.A. LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5600

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

Frio County

PERSPECTIVE VIEWS

IFC SUBMITTAL

Scale: As Indicated

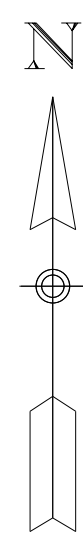
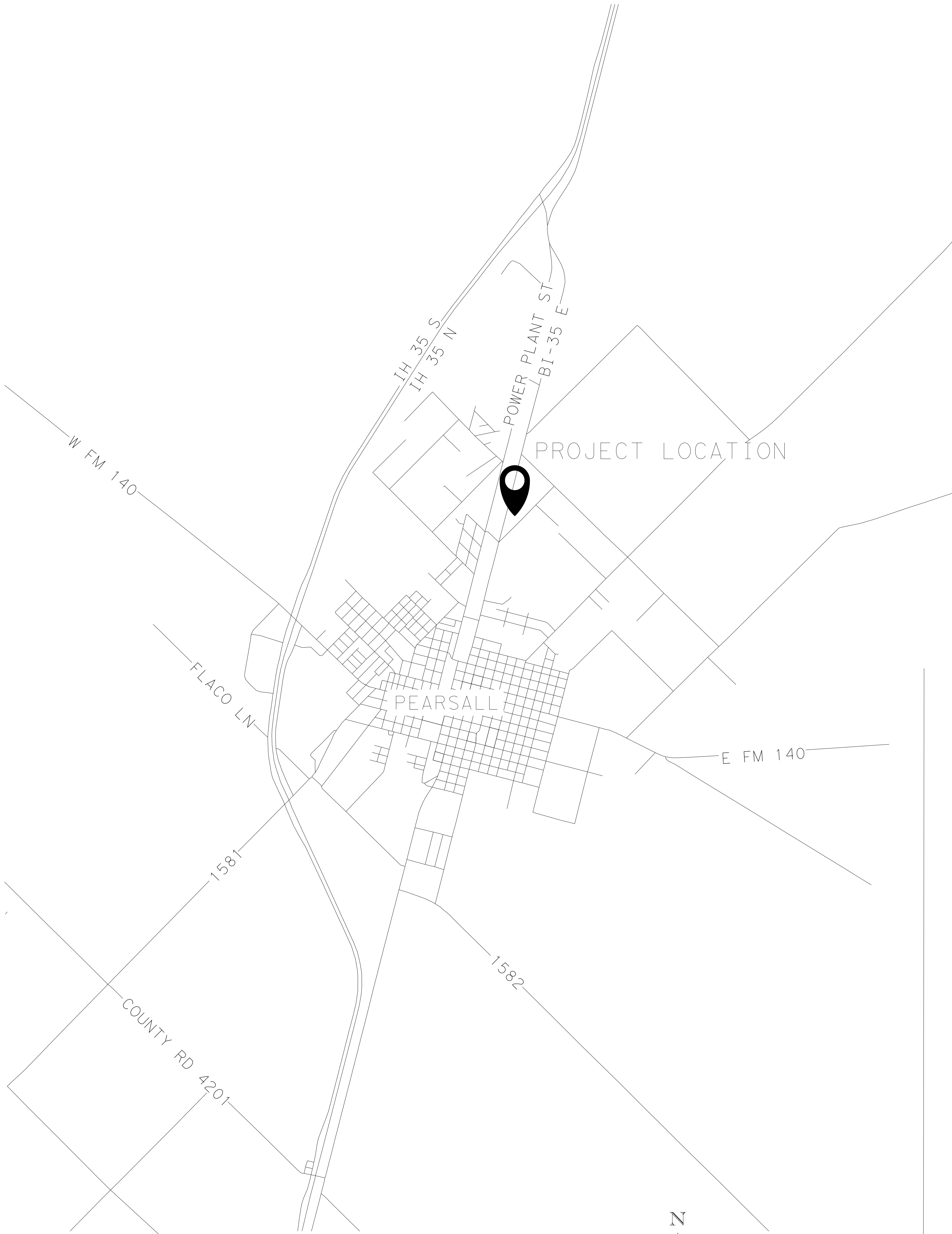
020-004-000

05/05/2021

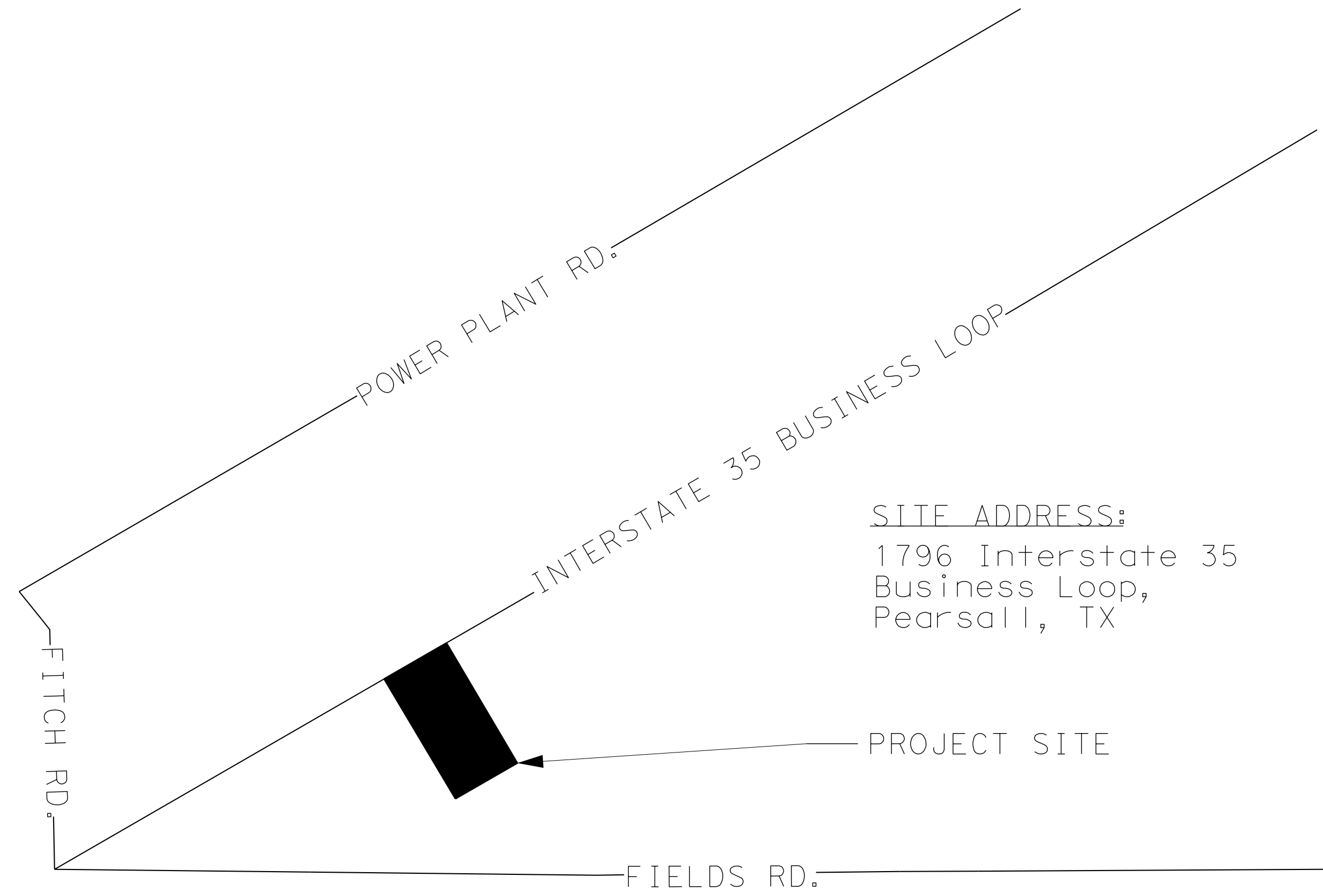
G-100

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S.J.P.A. STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S.J.P.A. CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

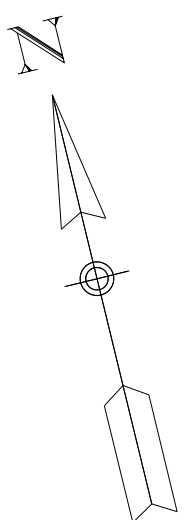
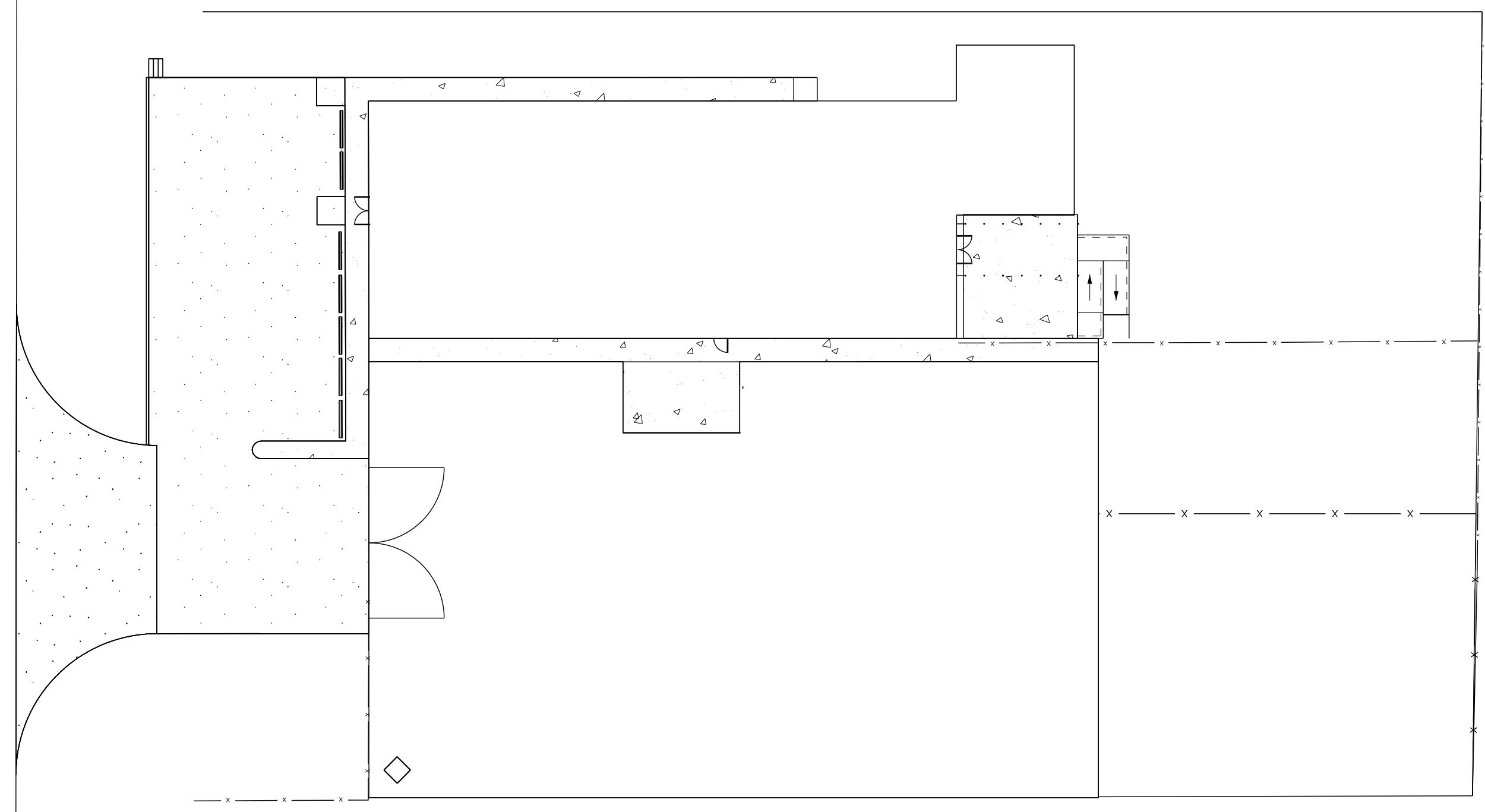
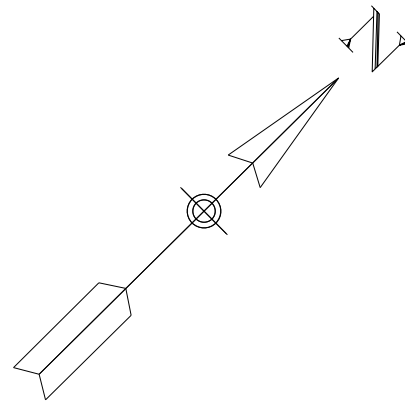
1
2
3
4
5
6
F
D
C
B
A
5/14/21 PM
PRINCEBORN
1796 INTERSTATE 35 BUSINESS LOOP, PEARSA, TEXAS
PROJECT LOCATION MAP



INTERSTATE 35 BUSINESS LOOP



SITE ADDRESS:
1796 Interstate 35
Business Loop,
Pearsall, TX



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S/JPA. STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S/JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S/JPA, LLC.
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO, JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSA, TX 78061

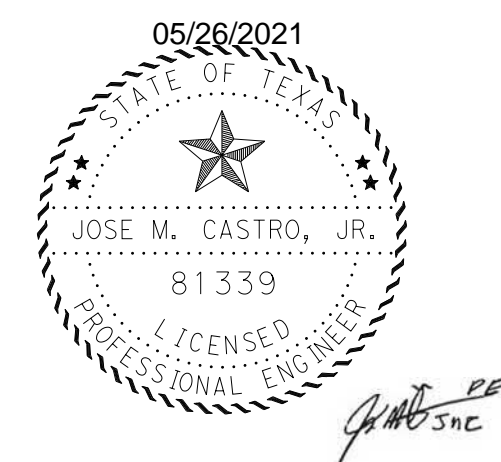
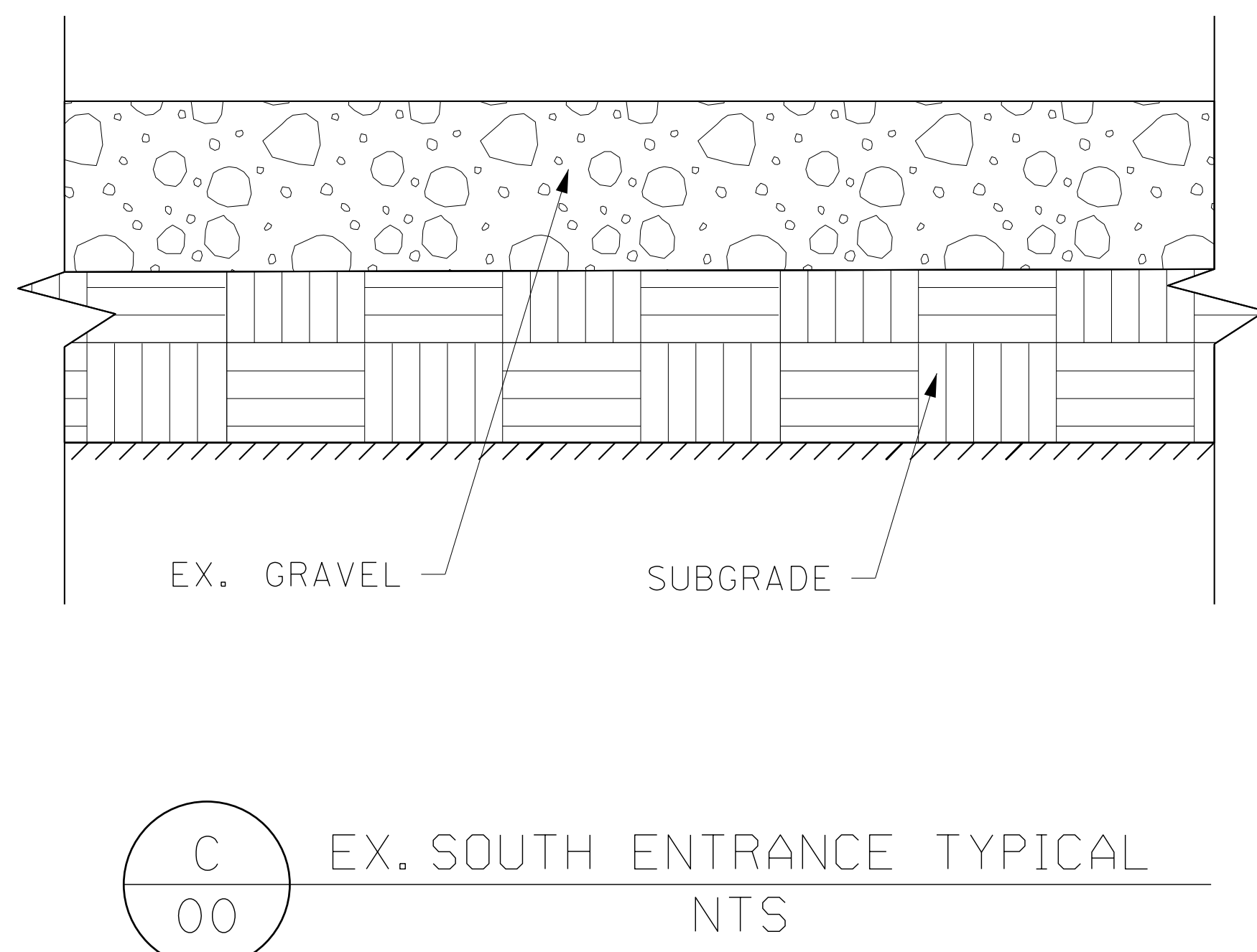
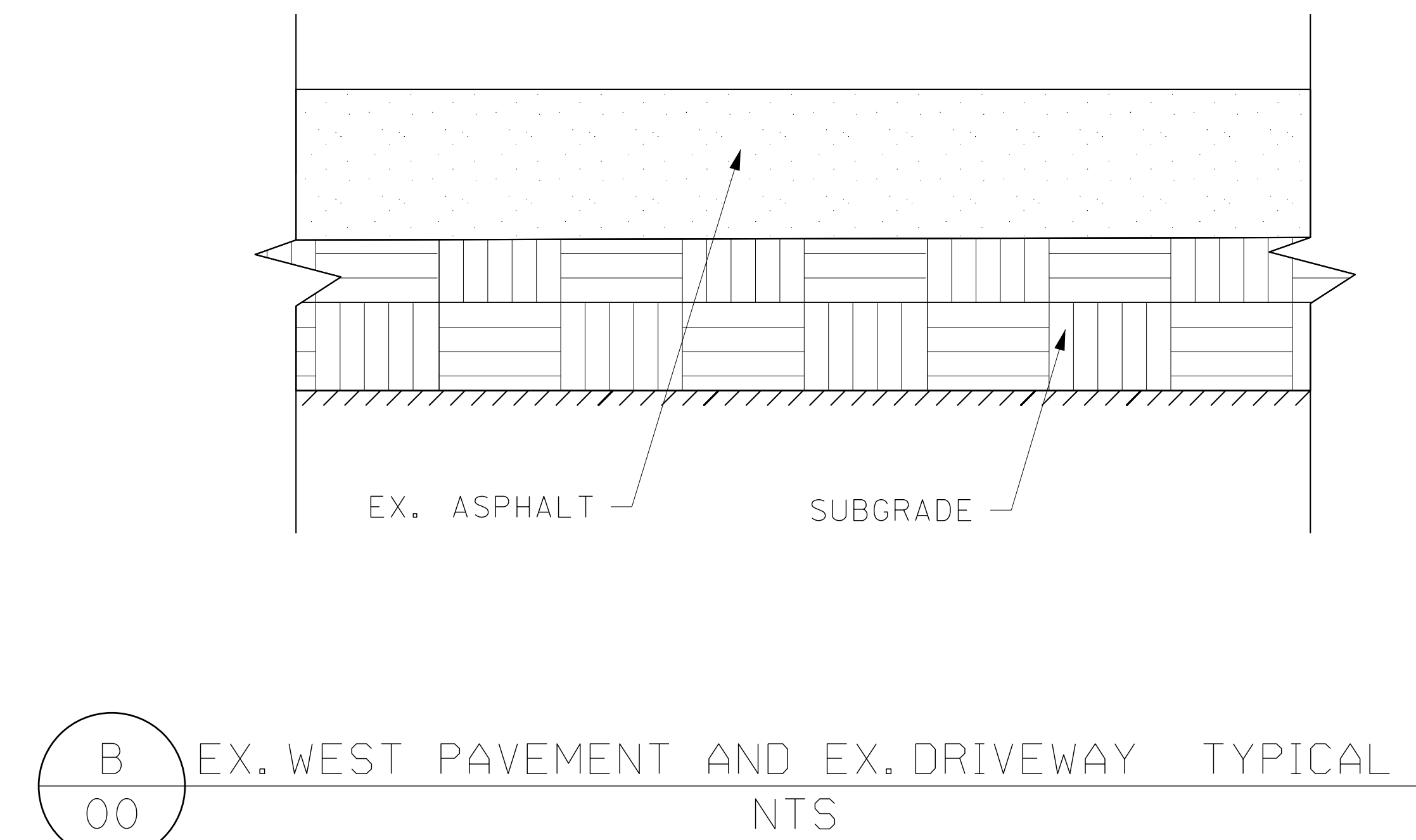
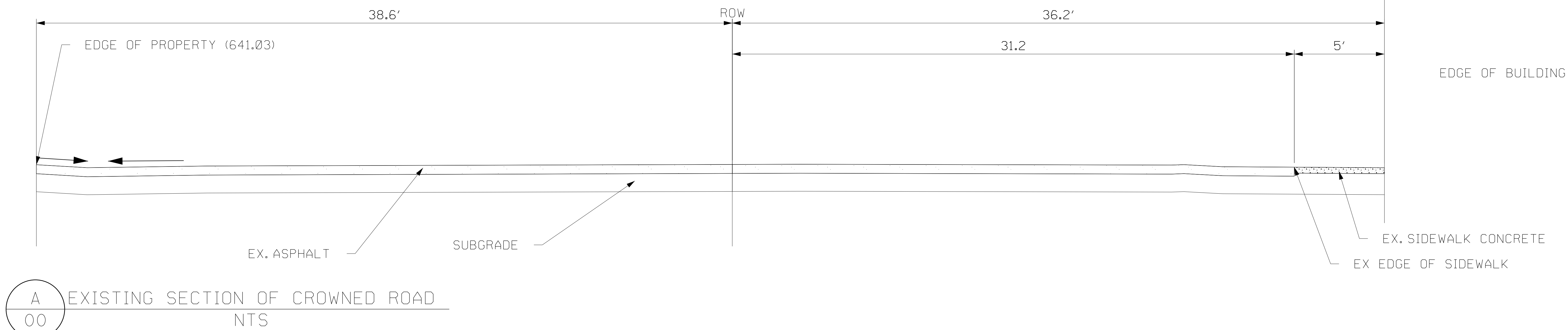
FRIO COUNTY



PROJECT LAYOUT MAP

100% SUBMITTAL

C003



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S&B. STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S&B CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S&B, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO, JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY



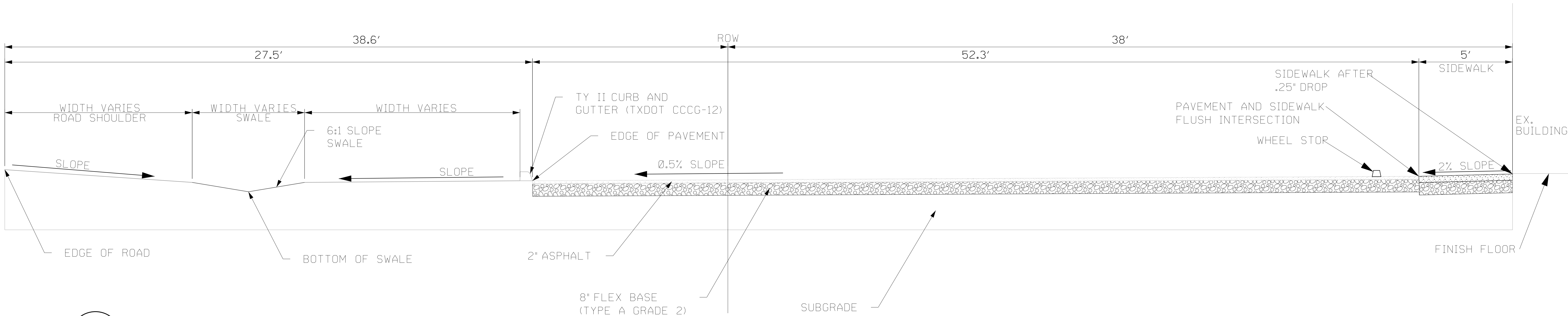
EXISTING
TYPICAL
SECTIONS

100% SUBMITTAL
Scale: As Indicated

C004

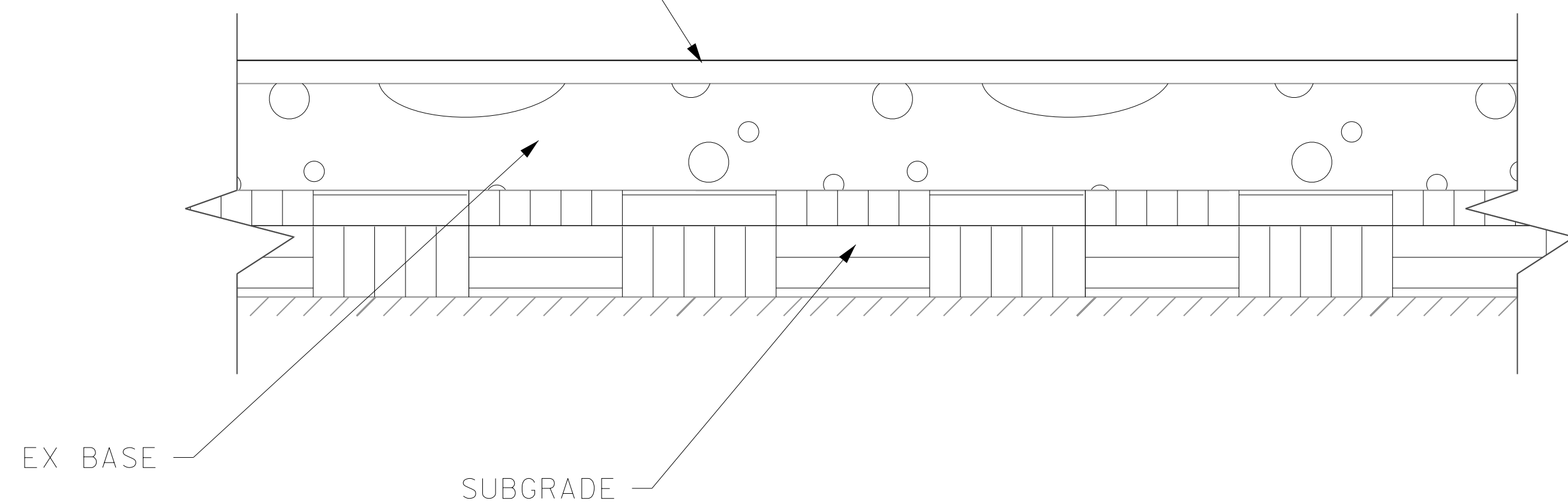
E
D
C
B
A

4/28/21 PM
04:21
N:\Projects\1796 IH 35 E\1796 IH 35 E.dwg
4/28/21 PM
04:21
N:\Projects\1796 IH 35 E\1796 IH 35 E.dwg

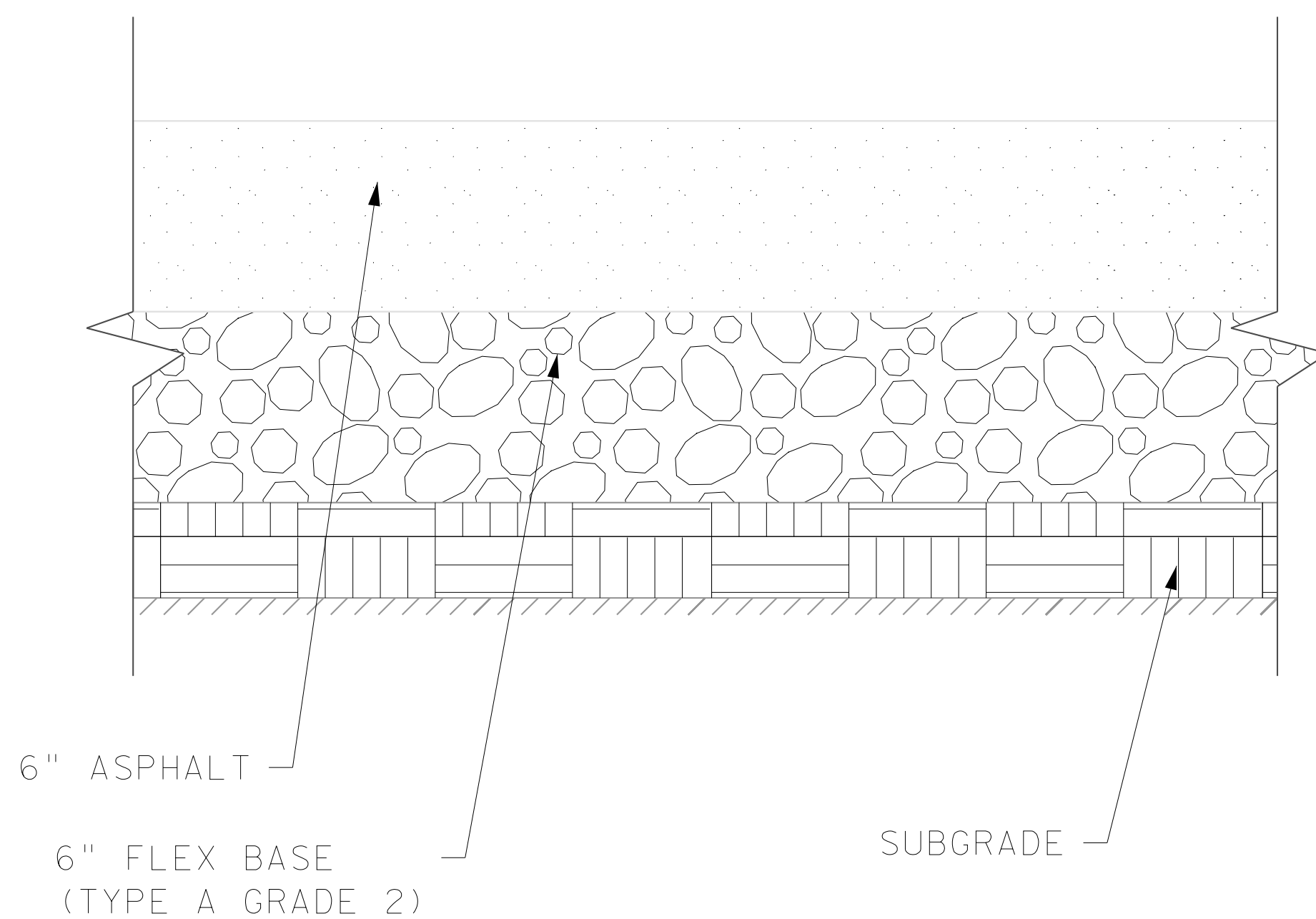


A
03
TYPICAL SECTION OF CROWNED ROAD
NTS

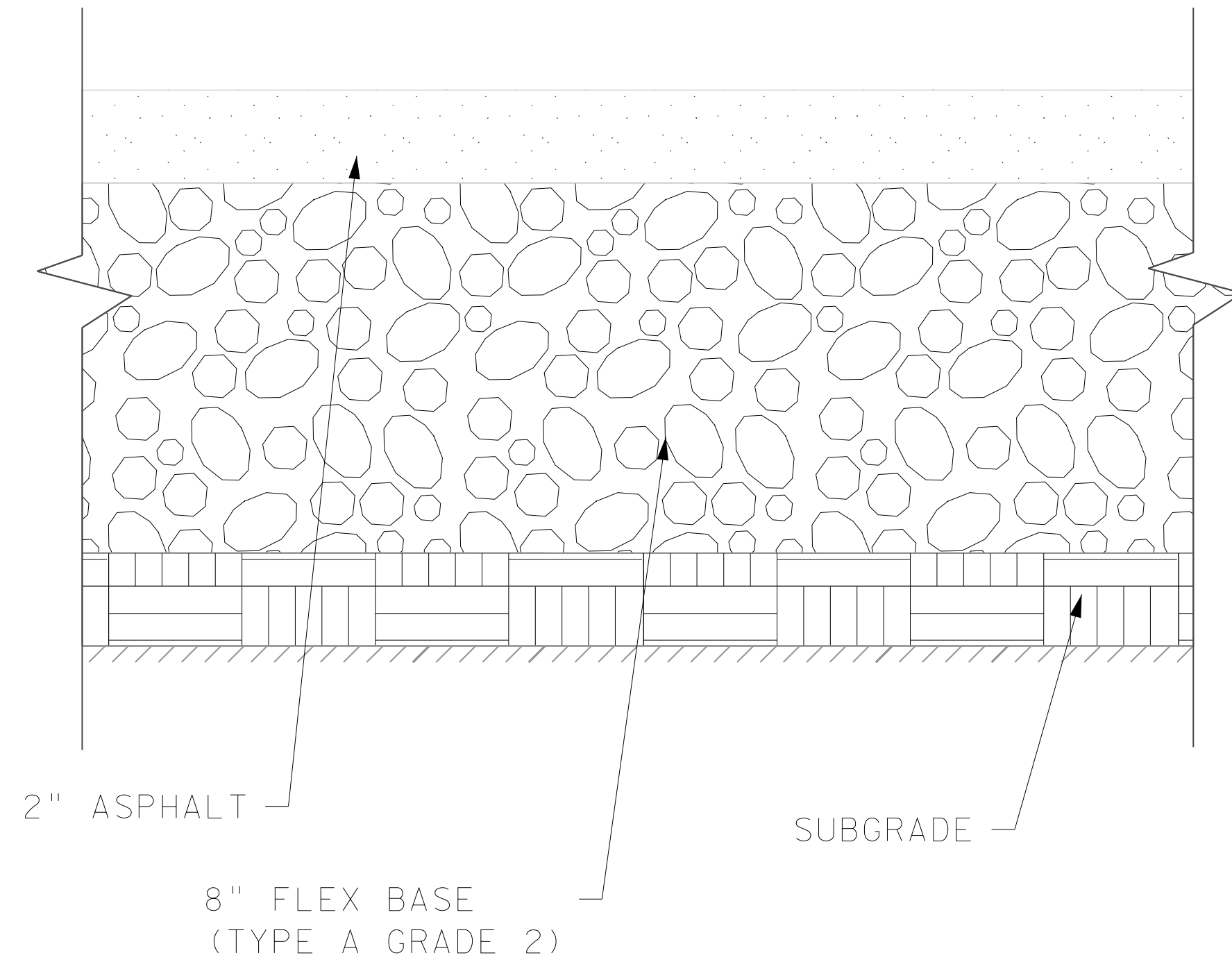
2-COURSE SURFACE TREATMENT (2 CST)
(TO BE INSTALLED BY COUNTY)



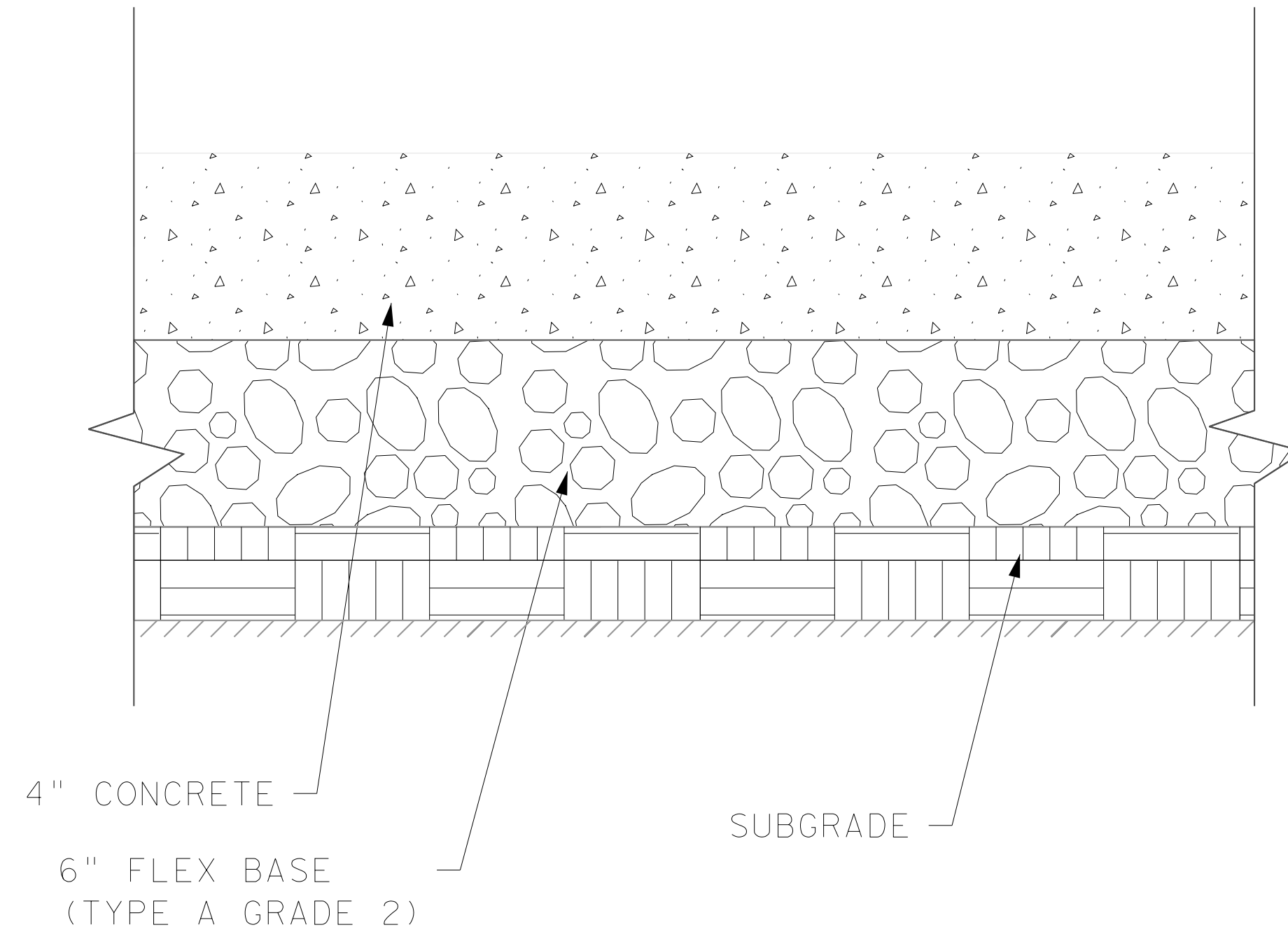
D
03
SOUTH ENTRANCE TYPICAL
NTS



B
03
DRIVEWAY PAVEMENT TYPICAL
NTS



C
03
WEST PAVEMENT TYPICAL
NTS



E
03
SIDEWALK TYPICAL
NTS



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SUPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SUPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S/JPA, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5605 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY



PROPOSED
TYPICAL
SECTIONS

100% SUBMITTAL

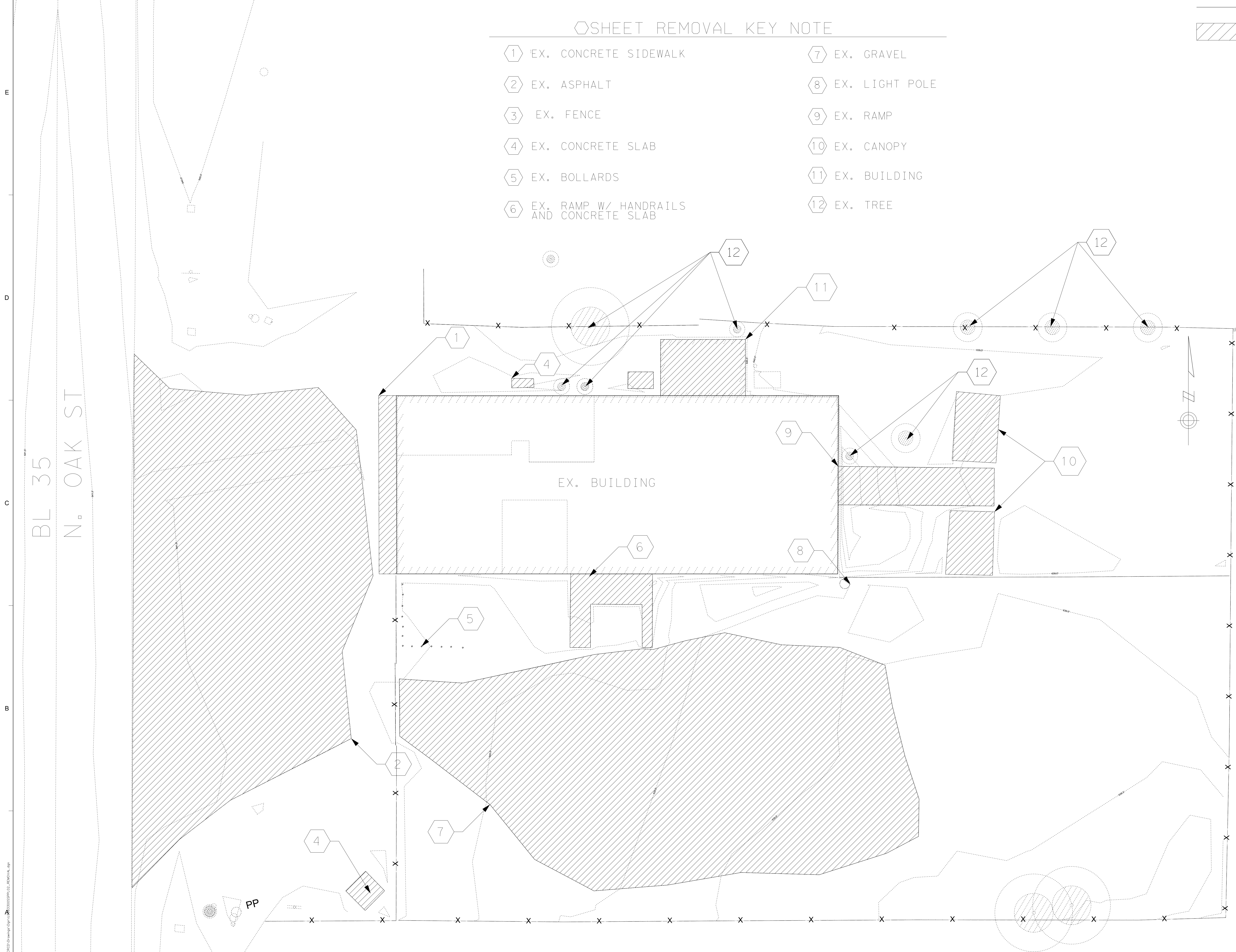
C005

SHEET REMOVAL KEY NOTE

- | | |
|--|--|
|  1 EX. CONCRETE SIDEWALK |  7 EX. GRAVEL |
|  2 EX. ASPHALT |  8 EX. LIGHT POLE |
|  3 EX. FENCE |  9 EX. RAMP |
|  4 EX. CONCRETE SLAB |  10 EX. CANOPY |
|  5 EX. BOLLARDS |  11 EX. BUILDING |
|  6 EX. RAMP W/ HANDRAILS
AND CONCRETE SLAB |  12 EX. TREE |



BL 35
N. OAK ST.



PP



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS SHALL BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions

[illegible]

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

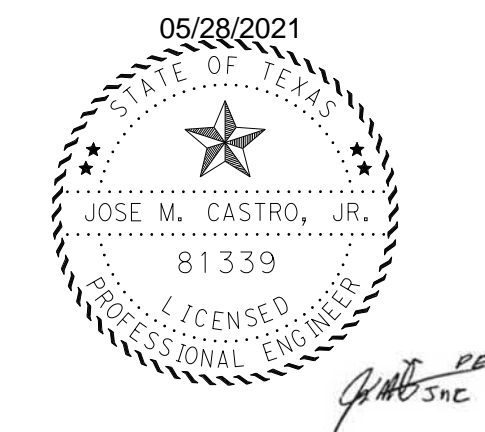


INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS #: F-1582

**REMOVAL
PLAN
SHEET**

100% SUBMITTAL

C006



MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

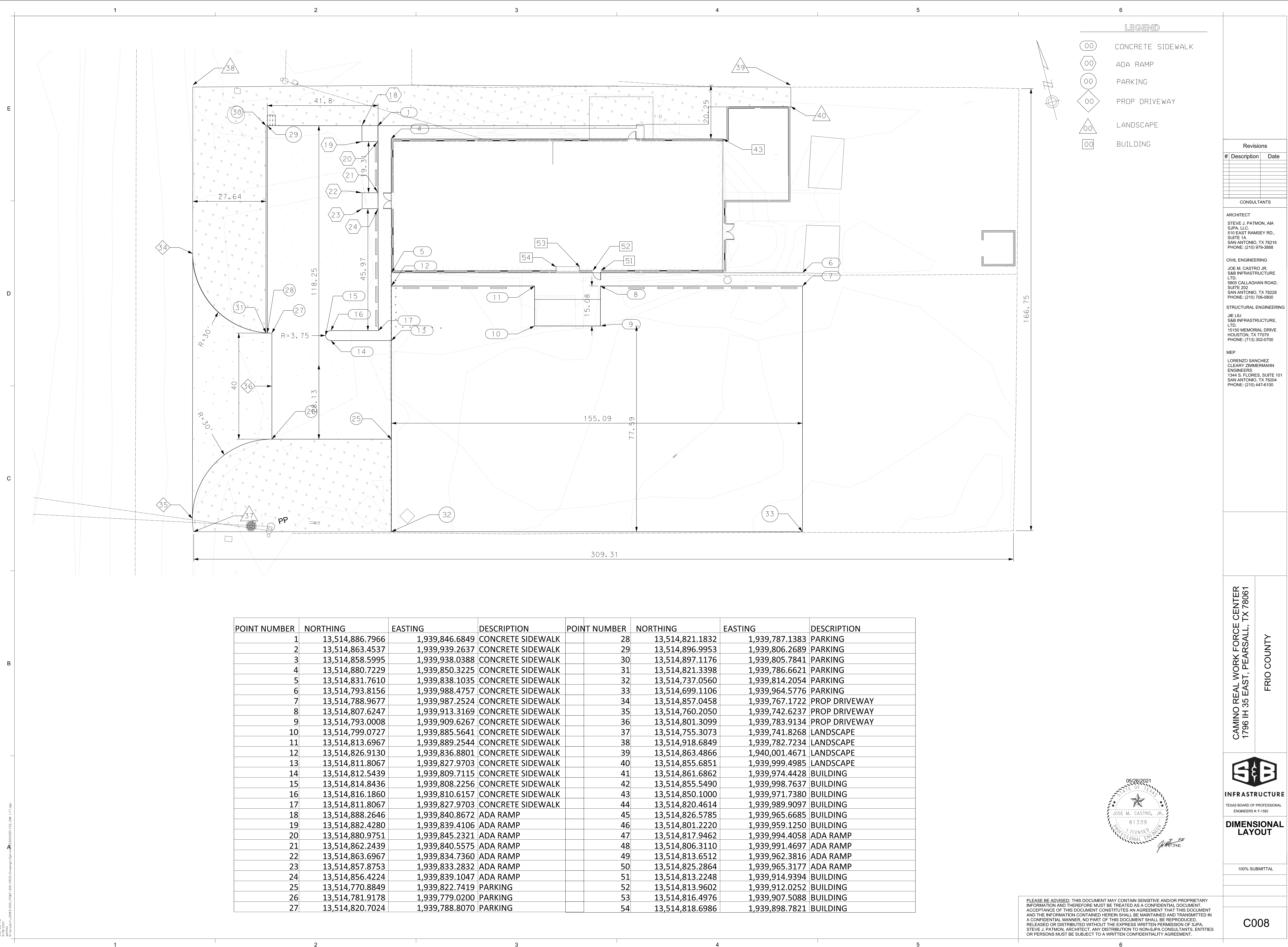
FRIO COUNTY



SITE PLAN

Scale: 1"=15'

C007



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

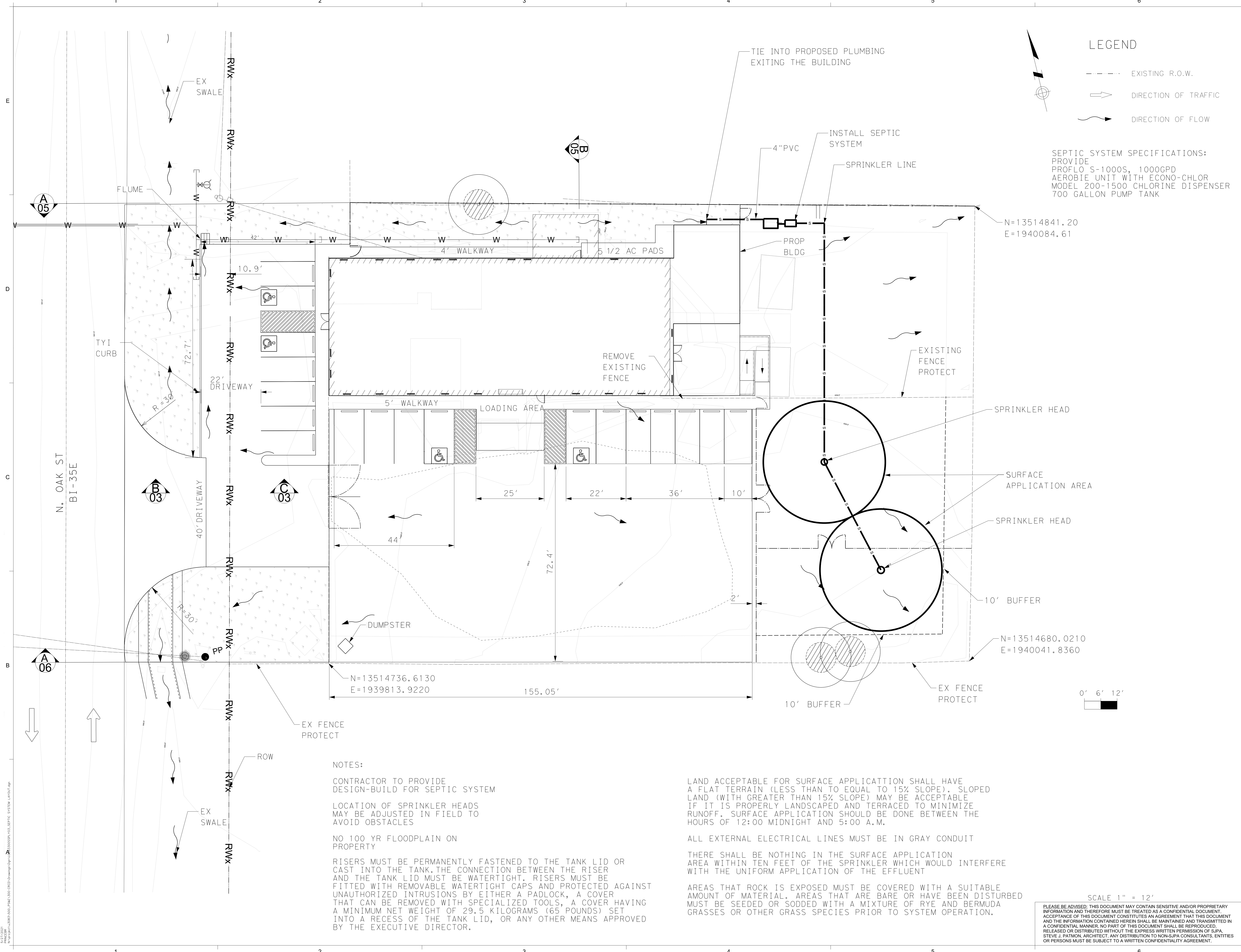


INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS #: F-1582

DIMENSIONAL LAYOUT

100% SUBMITTAL

C008



LEGEND

- EXISTING R.O.W.
- DIRECTION OF TRAFFIC
- DIRECTION OF FLOW

SEPTIC SYSTEM SPECIFICATIONS:
PROVIDE
PROFLO S-1000S, 1000GPD
AEROBIC UNIT WITH ECONO-CHLOR
MODEL 200-1500 CHLORINE DISPENSER
700 GALLON PUMP TANK

Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S/JPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY



SEPTIC SYSTEM LAYOUT

100% SUBMITTAL

C009

C010

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MAY BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCESS AND USE OF THIS DOCUMENT IS CONFINED TO AN AGREED-TO USER, AND THE DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS SHALL BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

E

D

C

B

A

9/18/2021 AM
R:\Projects\1796 IH 35 East\1796 IH 35 East.dwg
R:\Projects\1796 IH 35 East\1796 IH 35 East.dwg

1

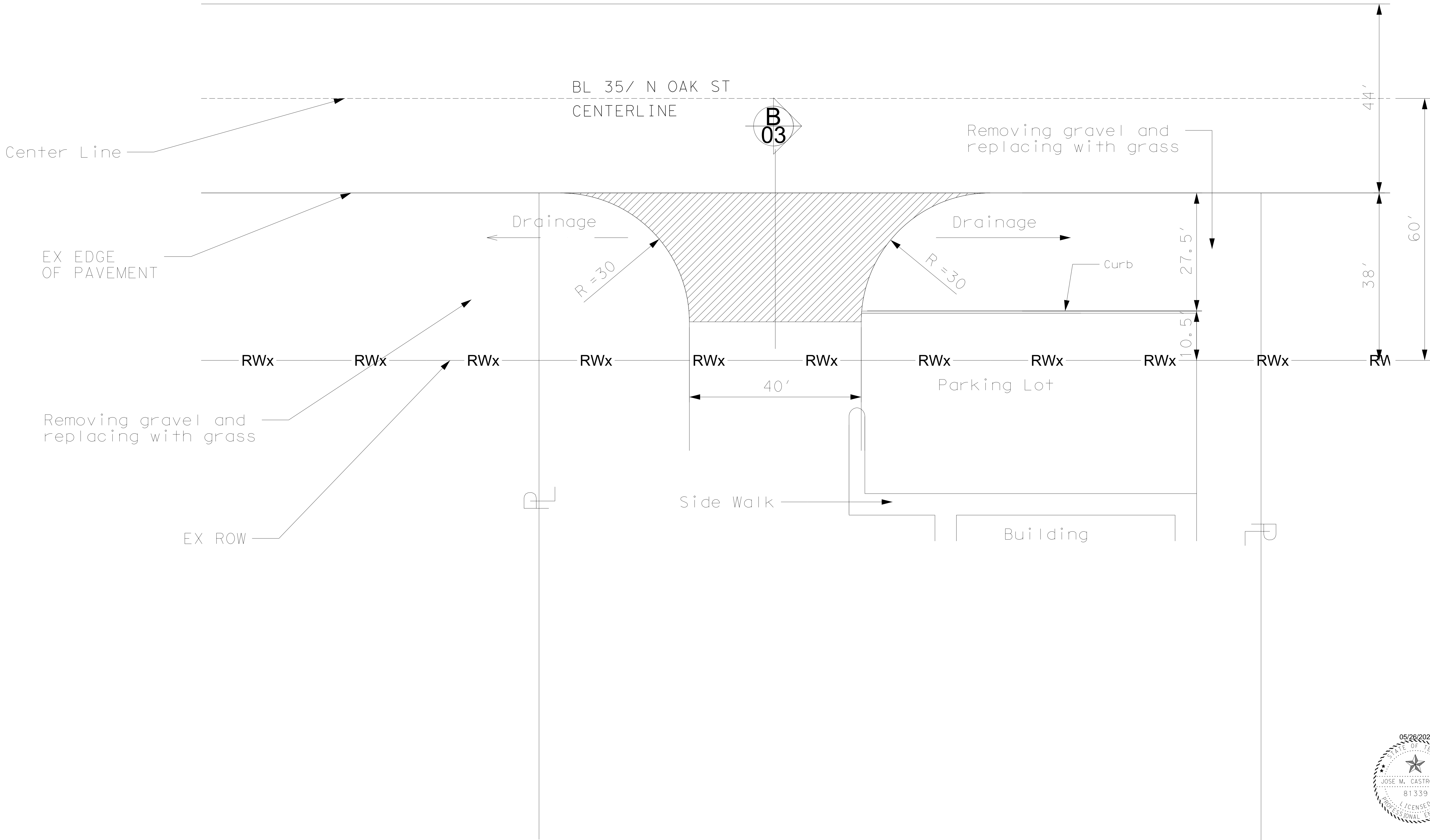
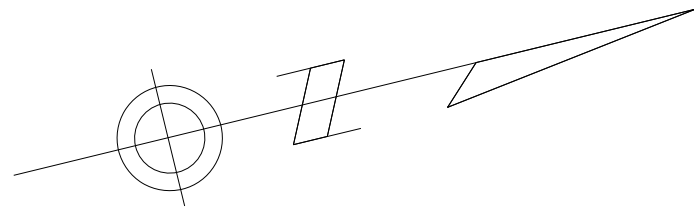
2

3

4

5

6



Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SIPA, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

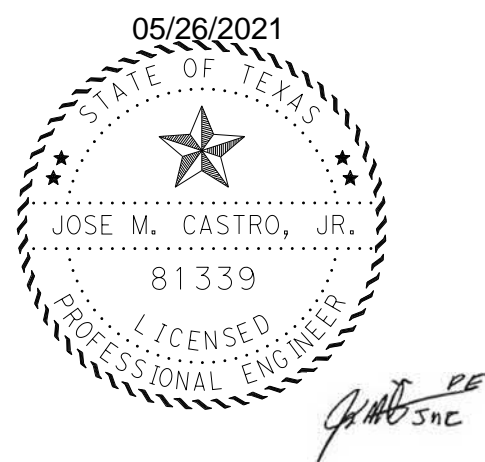
CIVIL ENGINEERING
JOE M. CASTRO, JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY

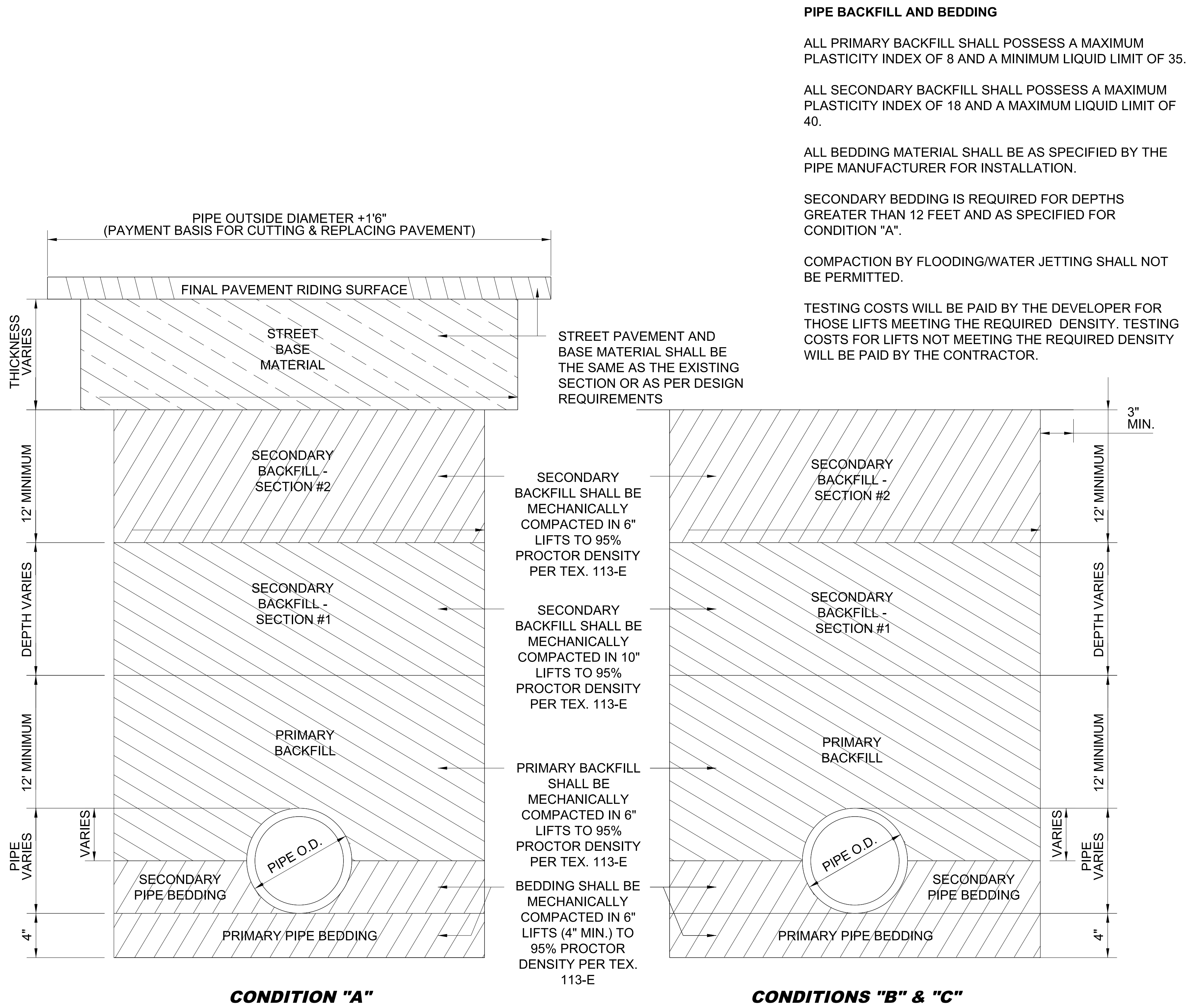


DRIVEWAY
DETAILS

100% SUBMITTAL

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SIPA. STEVE J. PATMON, ARCHITECT, ANY DISTRIBUTION TO NON-SIPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

C110

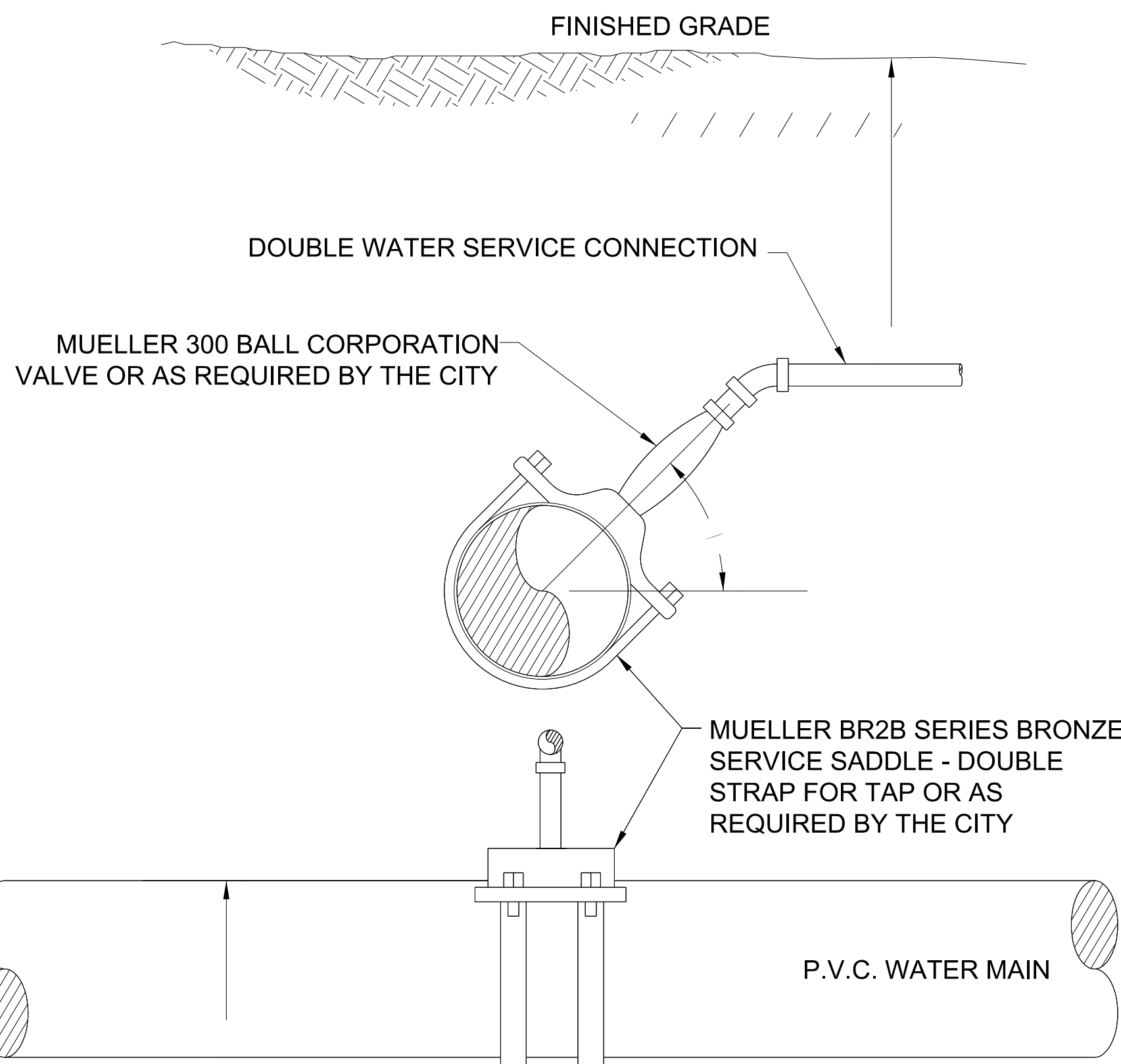
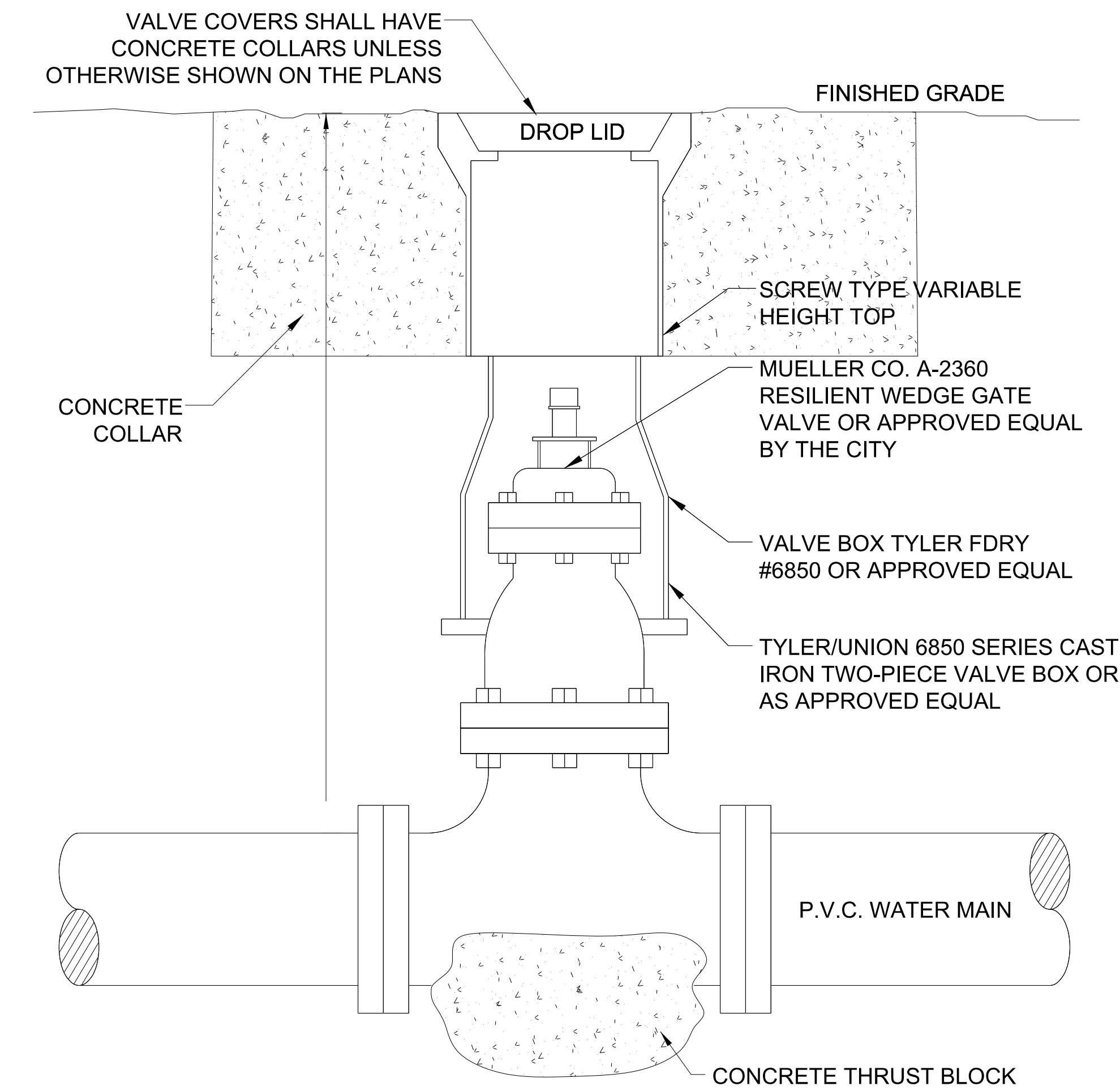


CONDITION "A" (PIPE INSTALLED UNDER EXISTING PAVEMENT AND/OR UNDER NEW PAVEMENT)
CONDITION "B" (PIPE INSTALLED BEHIND CURB AND WITHIN STREET RIGHT-OF-WAY)
CONDITION "C" (PIPE INSTALLED OUTSIDE OF RIGHT-OF-WAY)

TRENCH EXCAVATION PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO DEVELOP THE CONTRACTORS PLANS TO IMPLEMENT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S PLANS SHALL PROVIDE FOR ADEQUATE TRENCH SAFETY SYSTEMS THAT COMPLY WITH, AS MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL DEVELOP AND IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

A PIPE TRENCHING SECTION
SCALE: NTS



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S-JPA. STEVE J. PATMON, ARCHITECT, ANY DISTRIBUTION TO NON-S-JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Description

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S-JPA, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY

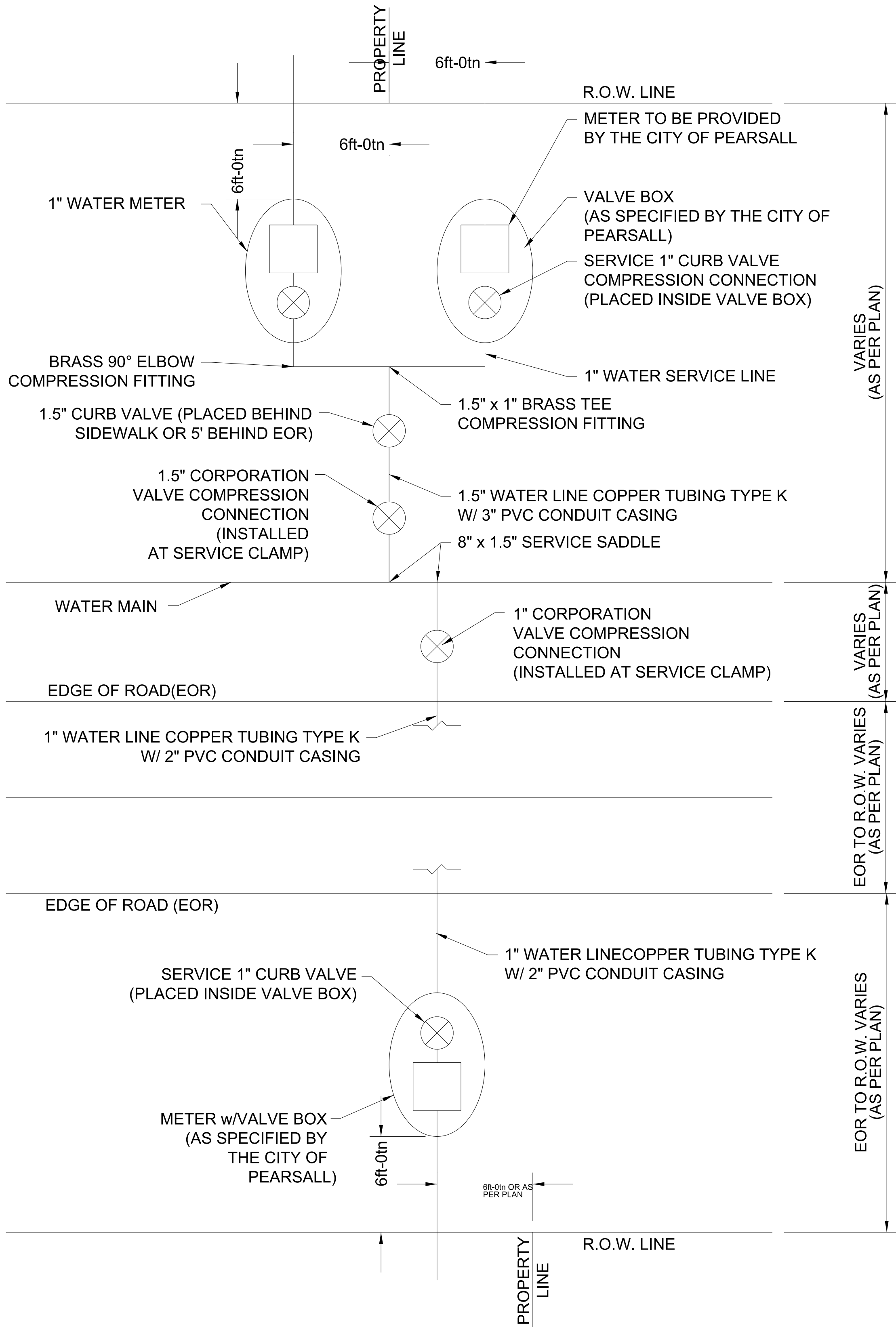
S&B
INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS # F-1582

**WATER
DETAILS**

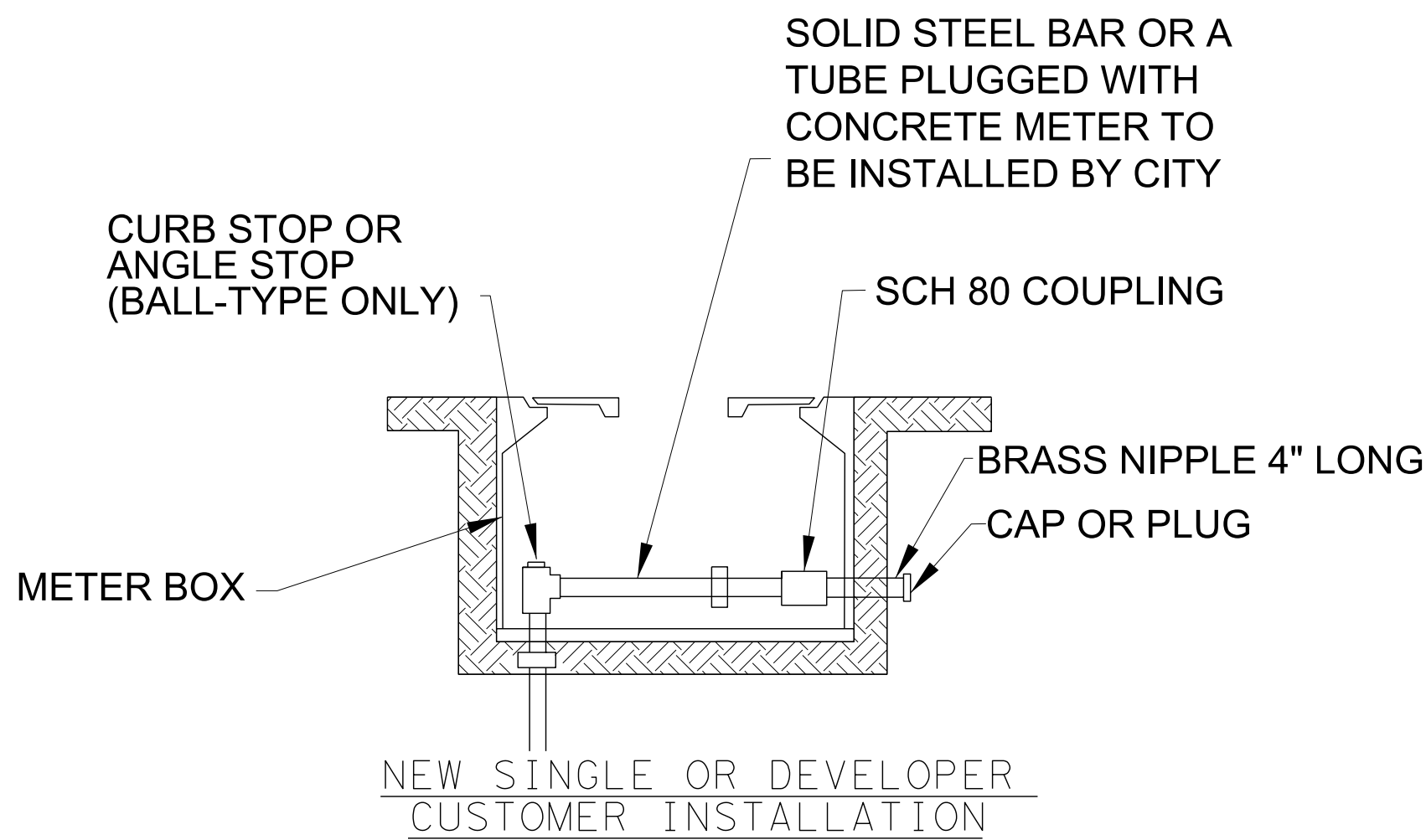
100% SUBMITTAL

C111

F
D
C
B



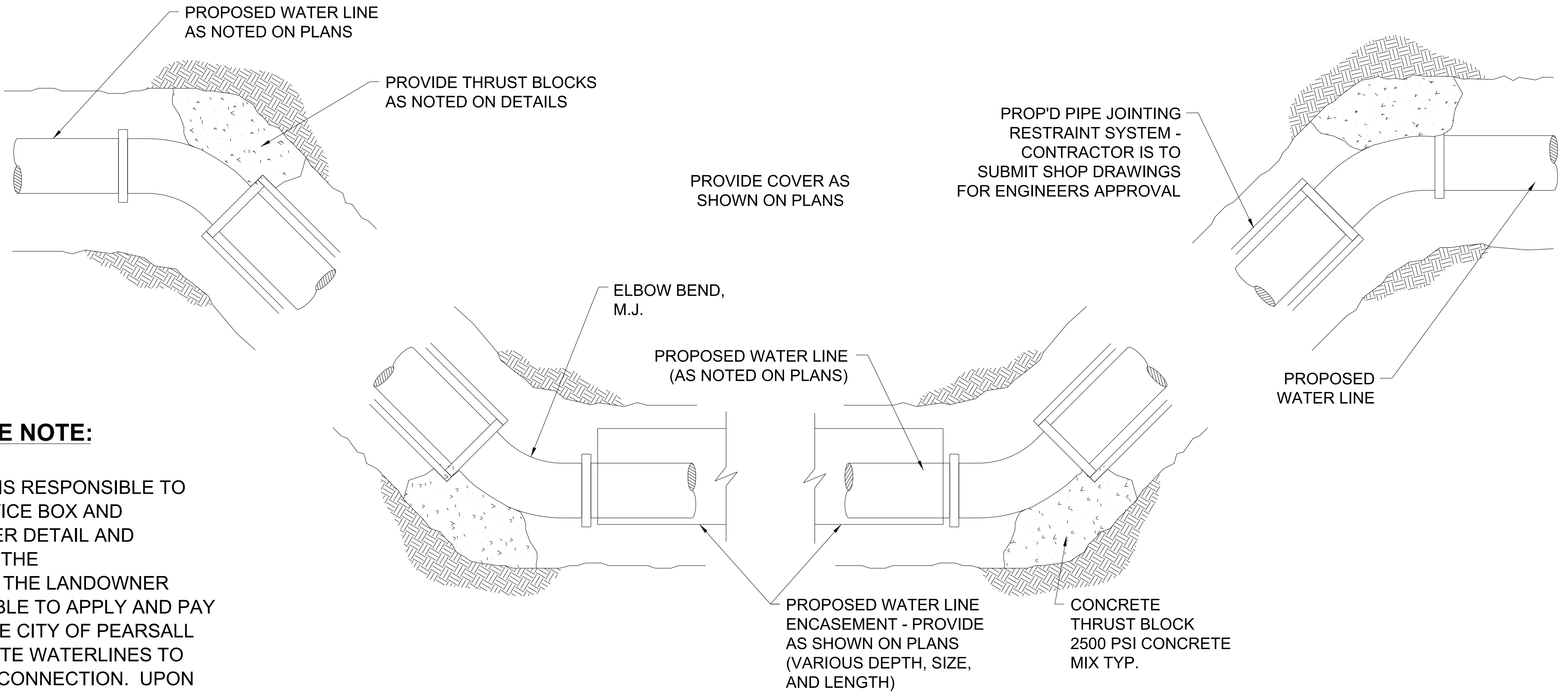
A **TYPICAL WATER SERVICE CONNECTION**
SCALE: NTS



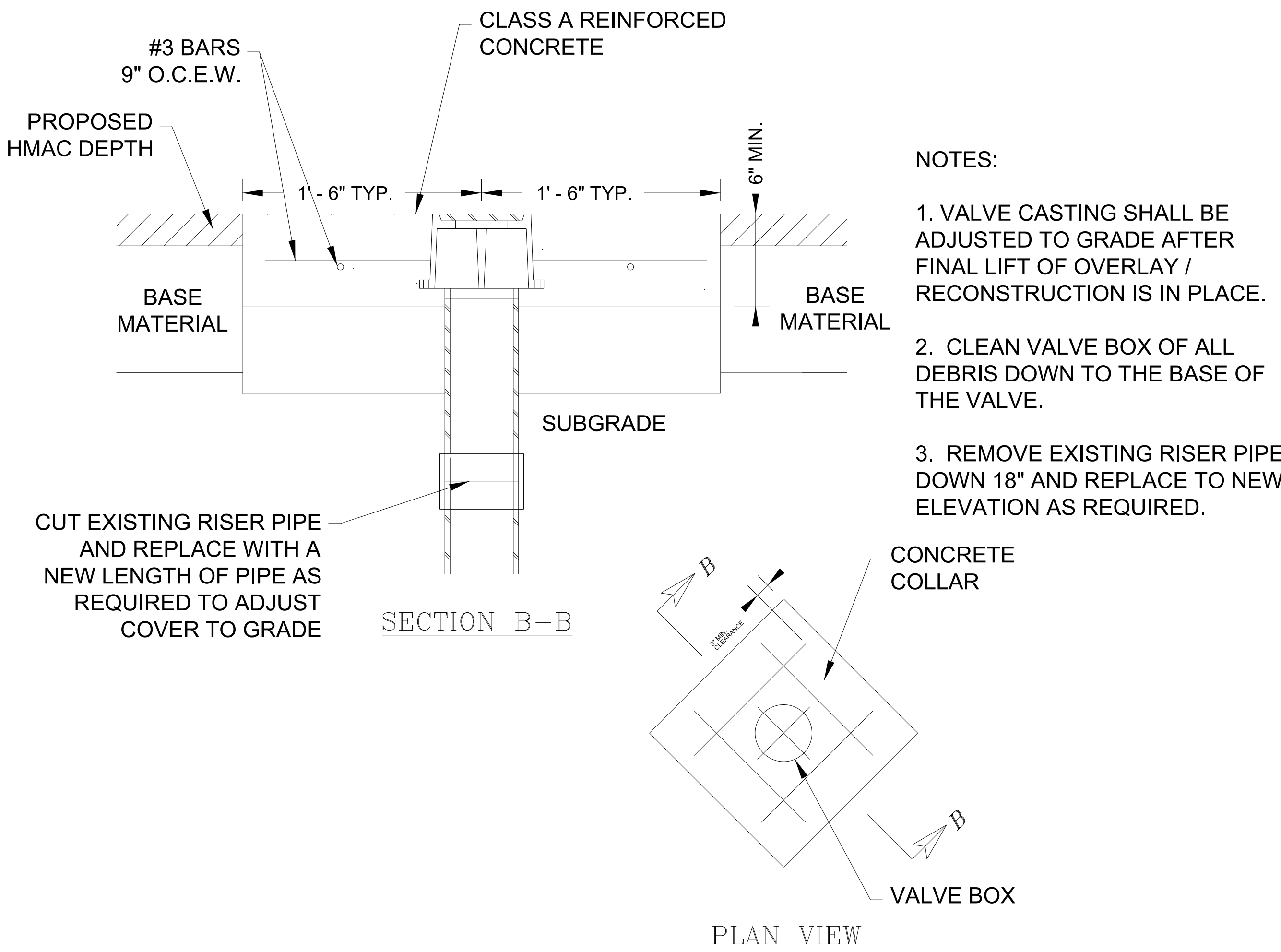
D **TYPICAL SINGLE METER INSTALLATION DETAIL**
SCALE: NTS

WATER SERVICE NOTE:

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE SERVICE BOX AND CONNECTION AS PER DETAIL AND COORDINATE WITH THE CITY/LANDOWNER. THE LANDOWNER WILL BE RESPONSIBLE TO APPLY AND PAY METER FEES TO THE CITY OF PEARSALL AND EXTEND PRIVATE WATERLINES TO THE NEW SERVICE CONNECTION. UPON CITY APPROVAL, THE CITY OF PEARSALL WILL INSTALL THE WATER METER. THE CONTRACTOR WILL BE RESPONSIBLE TO HELP COORDINATE WITH THE LANDOWNER AND CITY SO THAT THEIR WILL NOT BE ANY DISRUPTION IN SERVICE TO THE RESIDENTS.



B **TYPICAL WATER BENDS W/ JOINTING SYSTEM & THRUST BLOCKING**
SCALE: NTS



C **TYPICAL VALVE BOX ADJUSTMENT CONCRETE COLLAR DETAIL**
SCALE: NTS



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S-JPA. STEVE J. PATMON, ARCHITECT, ANY DISTRIBUTION TO NON-S-JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S-JPA, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

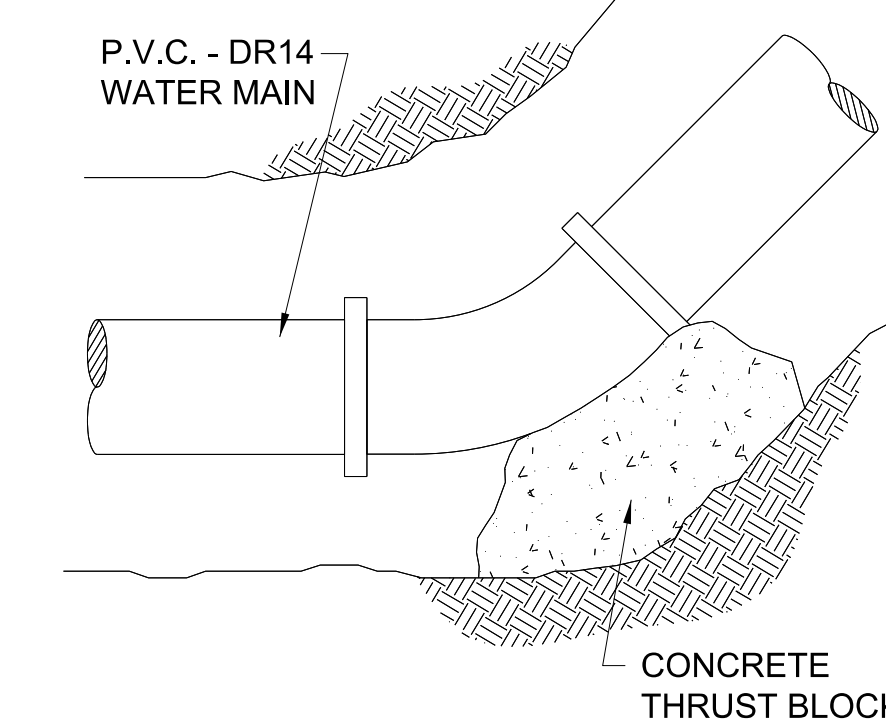
MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061
FRIO COUNTY



WATER DETAIL

100% SUBMITTAL
Scale: As Indicated



TYPICAL 45° BEND
SCALE: NTS

THRUST BASED ON PSI WATER PRESSURE. AREA BASED ON 2,000 PSI SOIL BEARING.

B



PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER, NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act." No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



DISCLAIMER:

The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

GENERAL NOTES

CURB RAMPS

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Cross slopes of 1.5% and lesser running should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
4. The minimum sidewalk width is 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 5' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 4' for short distances. 5'x 5' passing areas at intervals not to exceed 200' are required.
5. Turning Spaces shall be 5'x 5' minimum. Cross slope shall be maximum 2%.
6. Clear space at the bottom of curb ramps shall be a minimum of 4'x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the latest draft of the Proposed Guidelines for Pedestrian Facilities in the Public Right of Way (PROWAG) as published by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board).
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5'x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Provide curb ramps to connect the pedestrian access route at each pedestrian street crossing. Handrails are not required on curb ramps.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Furnish and install No. 3 reinforcing steel bars at 18" o.c. both ways, unless otherwise directed.
16. Provide a smooth transition where the curb ramps connect to the street.
17. Curbs shown on sheet 1 within the limits of payment are considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
18. Existing features that comply with applicable standards may remain in place unless otherwise shown on the plans.

DETECTABLE WARNING MATERIAL

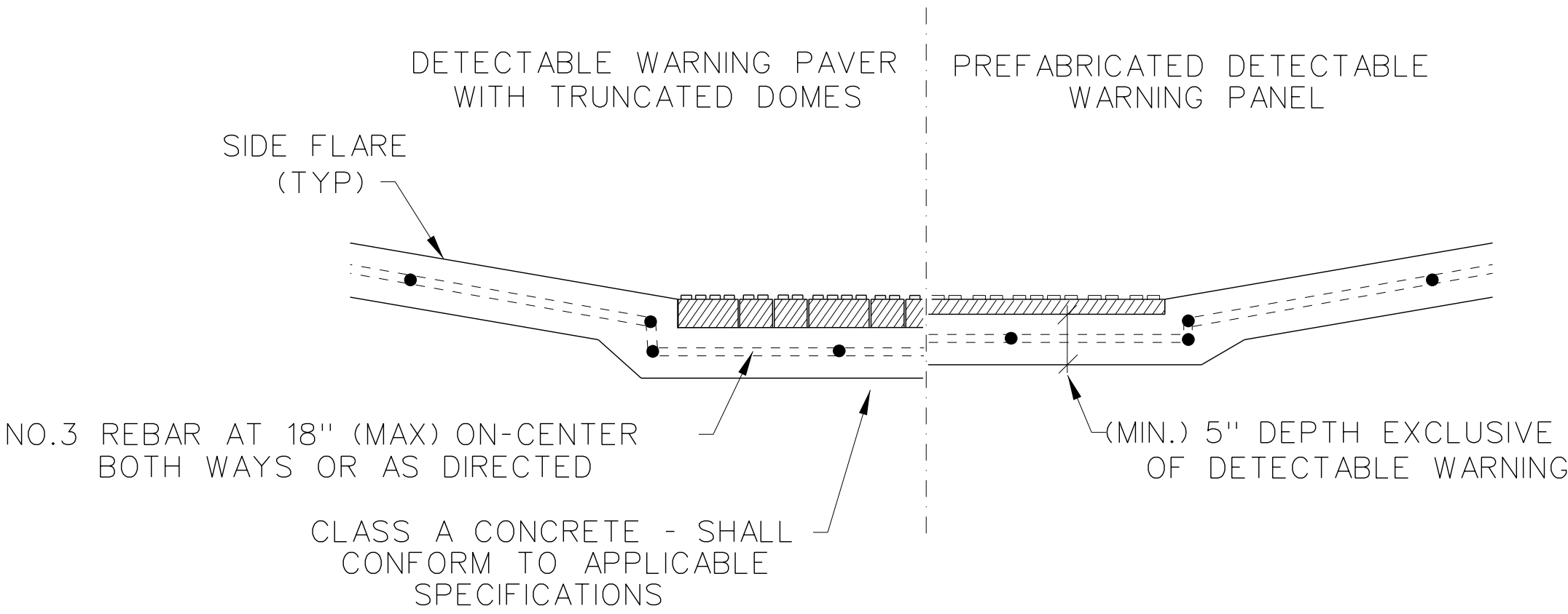
19. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with PROWAG. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark brown or dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
20. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
21. Detectable warning surfaces must be firm, stable and slip resistant.
22. Detectable warning surfaces shall be a minimum of 24 inches in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
23. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb and neither end of that edge is greater than 5 feet from the back of curb. Detectable warning surfaces may be curved along the corner radius.
24. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.

DETECTABLE WARNING PAVERS (IF USED)

25. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
26. Lay full-size units first followed by closure units consisting of at least 25 percent (25%) of a full unit. Cut detectable warning paver units using a power saw.

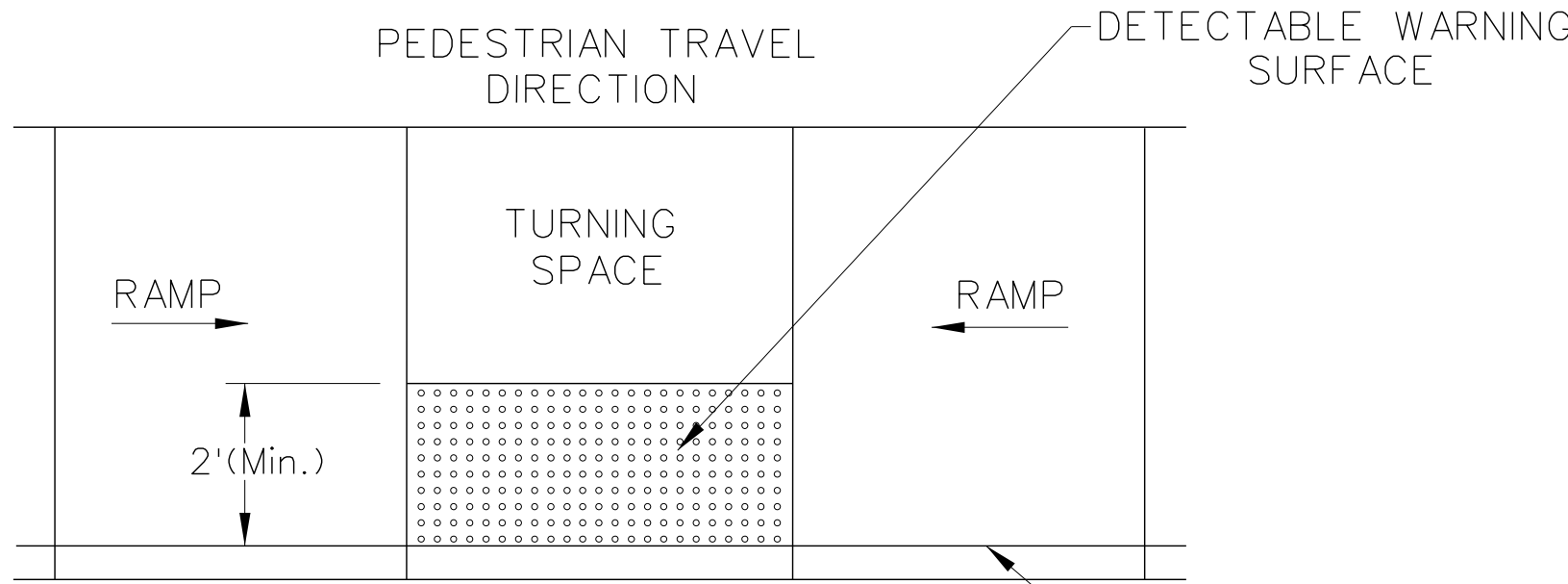
SIDEWALKS

27. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within unobstructed reach range specified in PROWAG section R406.
28. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground space.
29. Street grades and cross slopes shall be as shown elsewhere in the plans.
30. Changes in level greater than 1/4 inch are not permitted.
31. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than five percent (5%) must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with PROWAG R409.
32. Handrail extensions shall not protrude into the usable landing area or into intersecting pedestrian routes.
33. Driveways and turnouts shall be constructed and paid for in accordance with Item "Intersections, Driveways and Turnouts". Sidewalks shall be constructed and paid for in accordance with Item, "Sidewalks".
34. Sidewalk details are shown elsewhere in the plans.

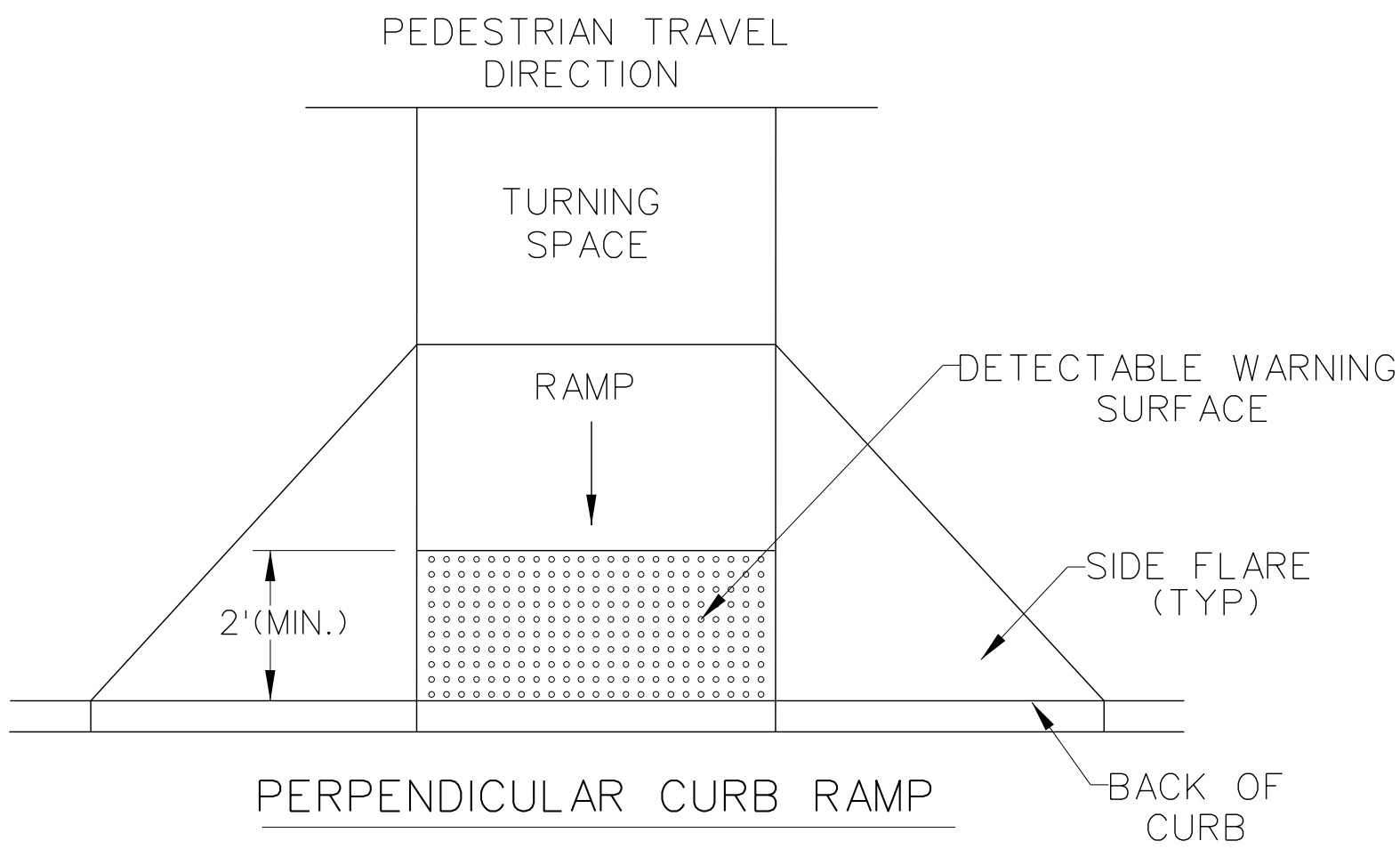


SECTION VIEW DETAIL
CURB RAMP AT DETECTABLE WARNINGS

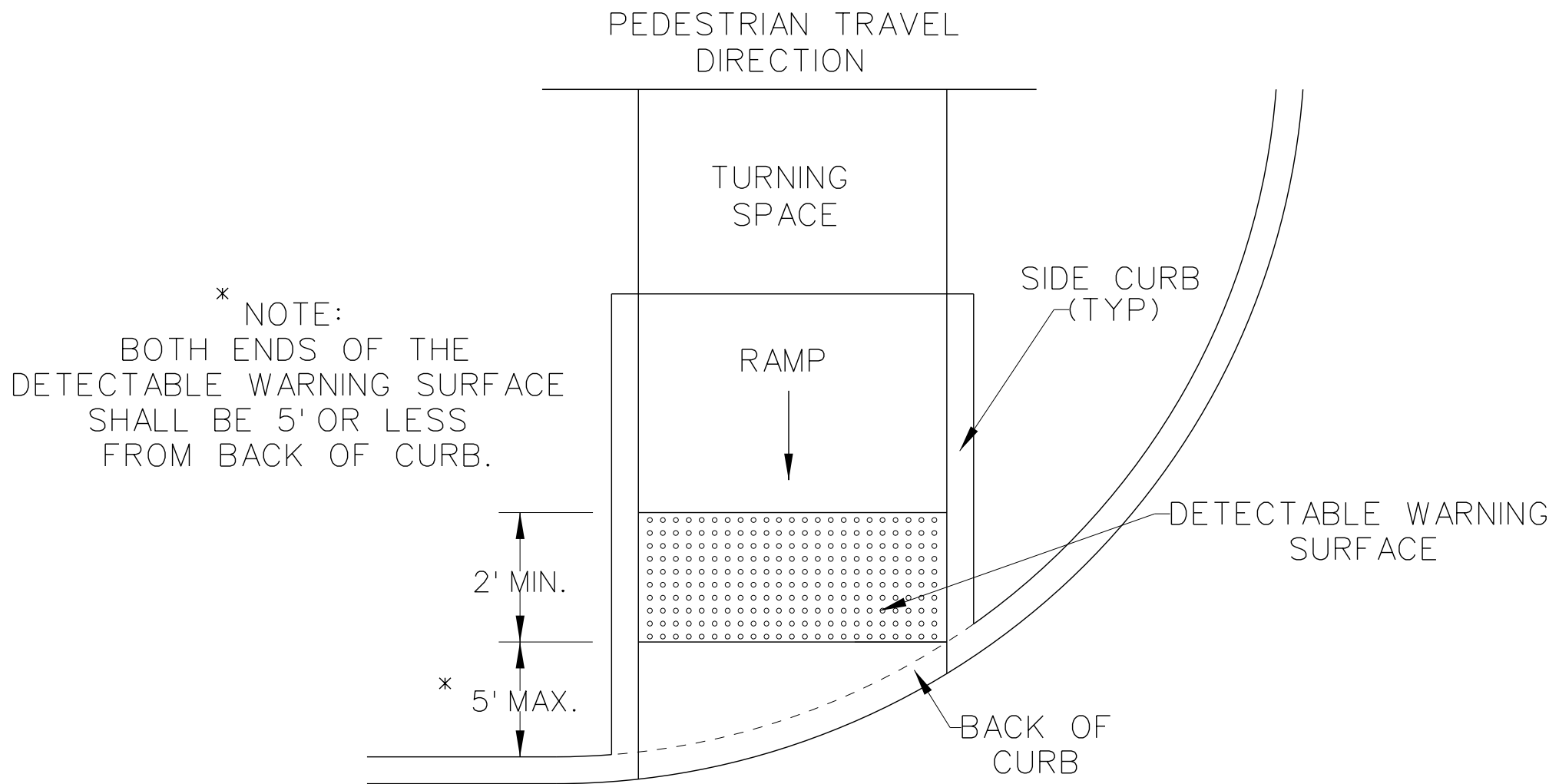
DETECTABLE WARNING SURFACE DETAILS



PARALLEL CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON LANDING AT STREET EDGE.




PERPENDICULAR CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.



DIRECTIONAL CURB RAMP
TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.

SHEET 2 OF 4

 Texas Department of Transportation		Design Division Standard	
PEDESTRIAN FACILITIES CURB RAMPS			
PED-18			
SHEET C-114B			
FILE: ped18	DN: TxDOT	DW: VP	CK: KM & JG
© TxDOT: MARCH, 2002	CONT	SECT	JOB HIGHWAY
REVISED 08/2005	DIST	COUNTY	SHEET NO.
REVISED 06/2012			
REVISED 01/2018			

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S/JPA STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S/JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Date

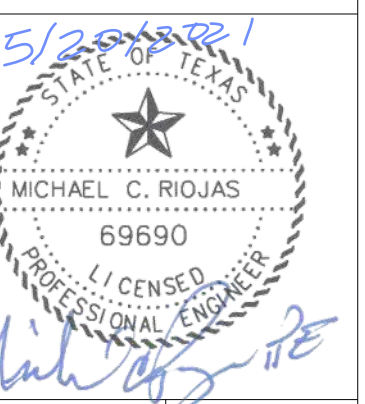
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S/JPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE, LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY



INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL ENGINEERS # F-1582

PED-18

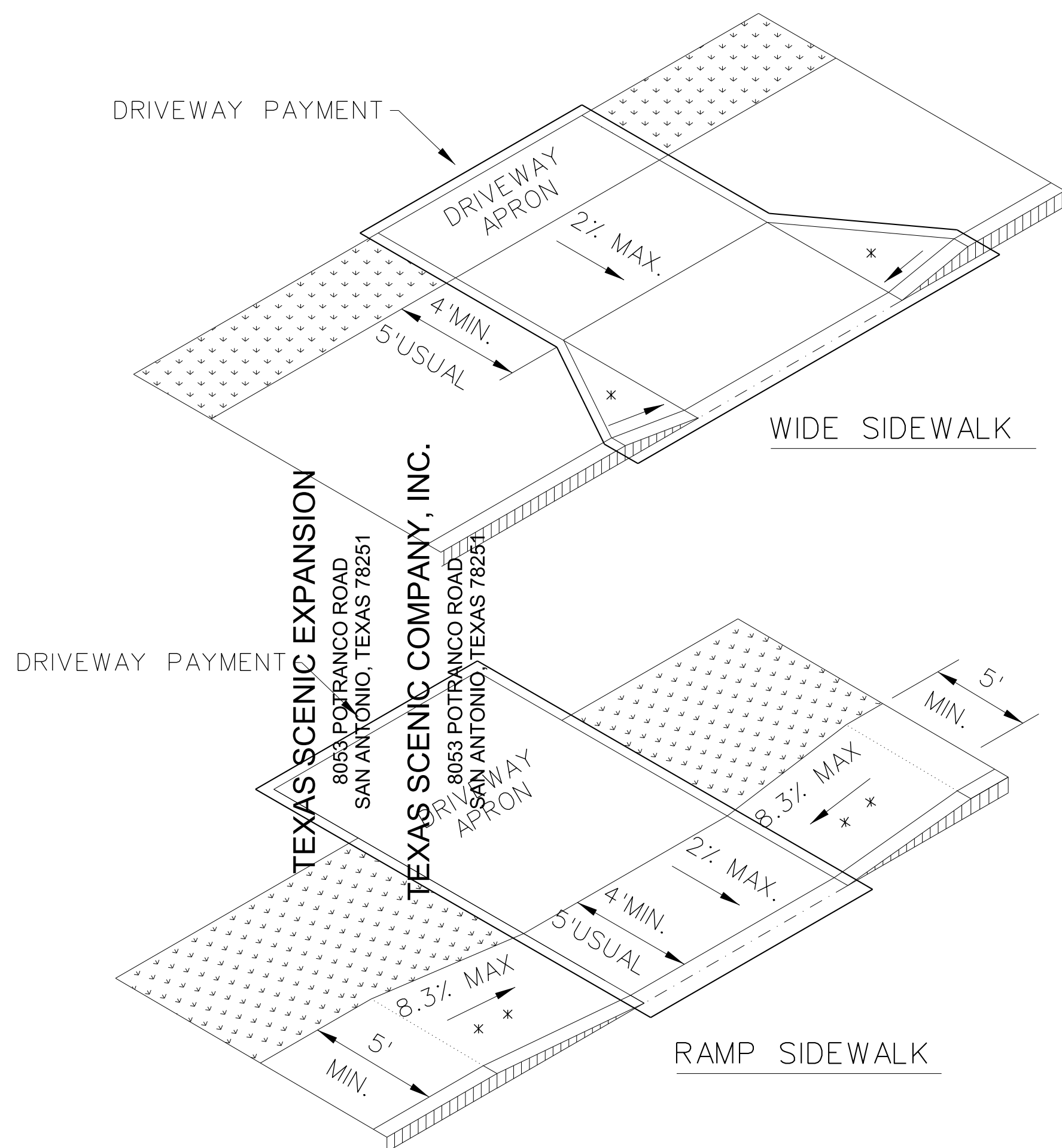
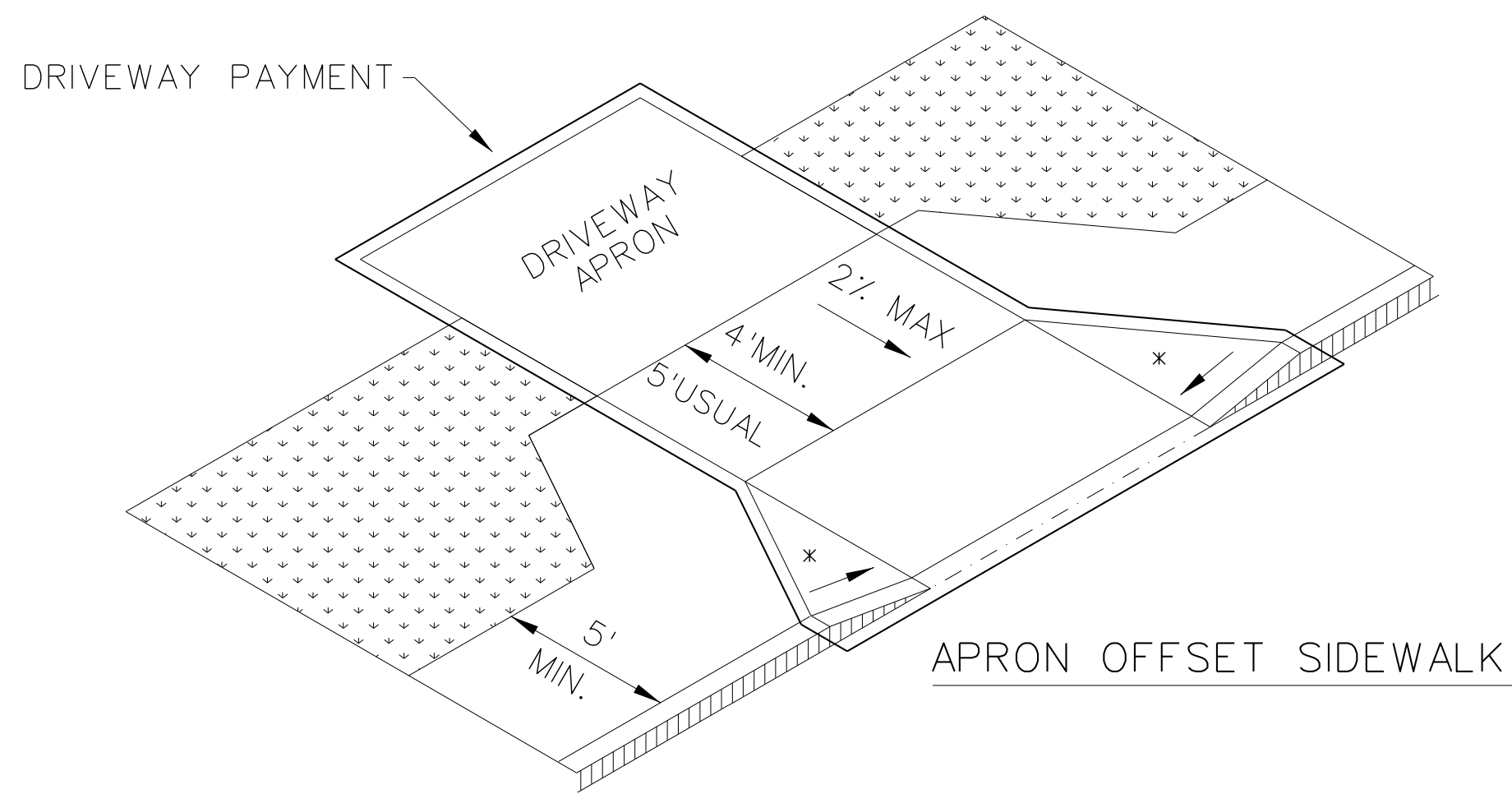
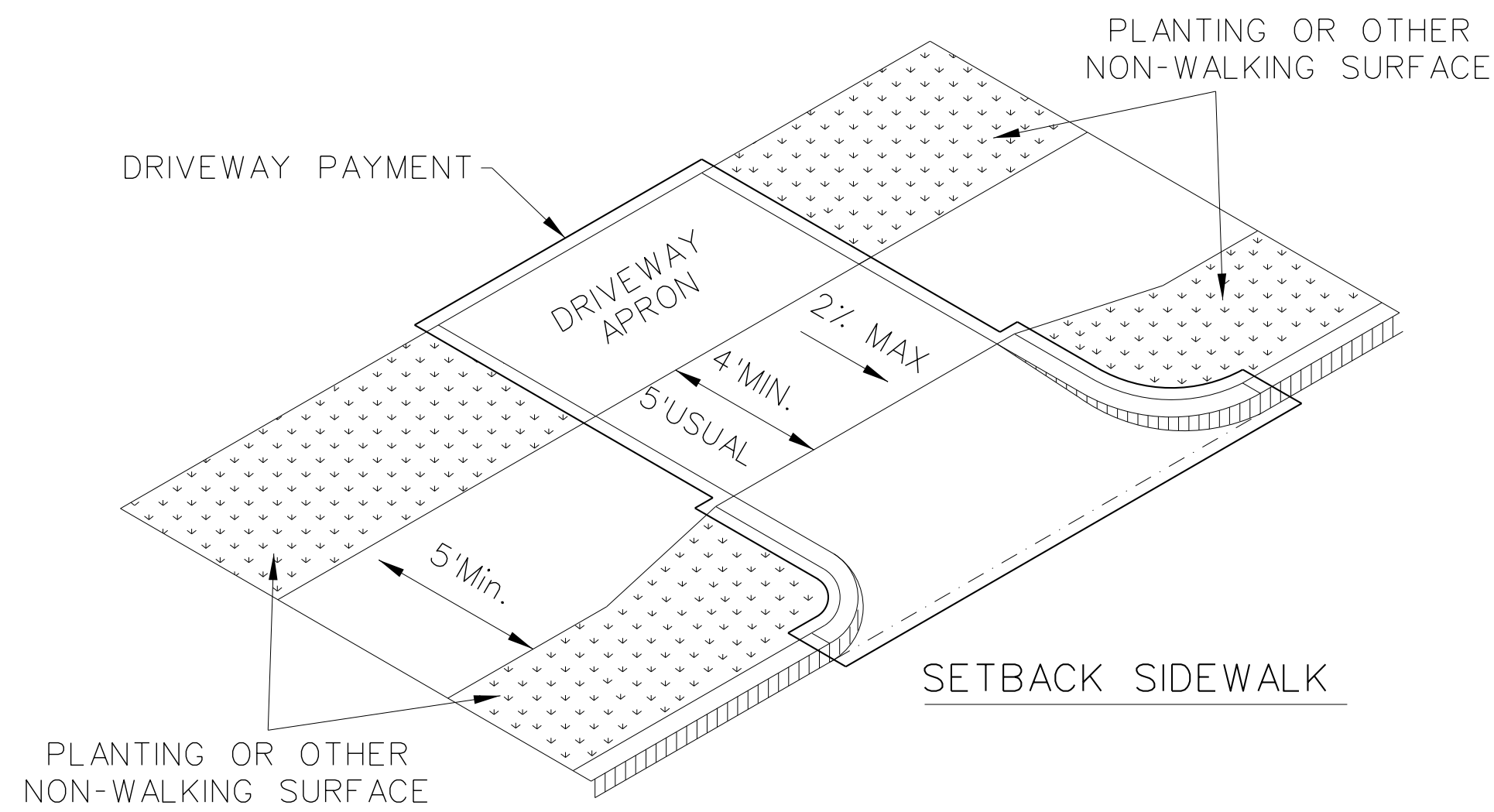
100% SUBMITTAL

C114B

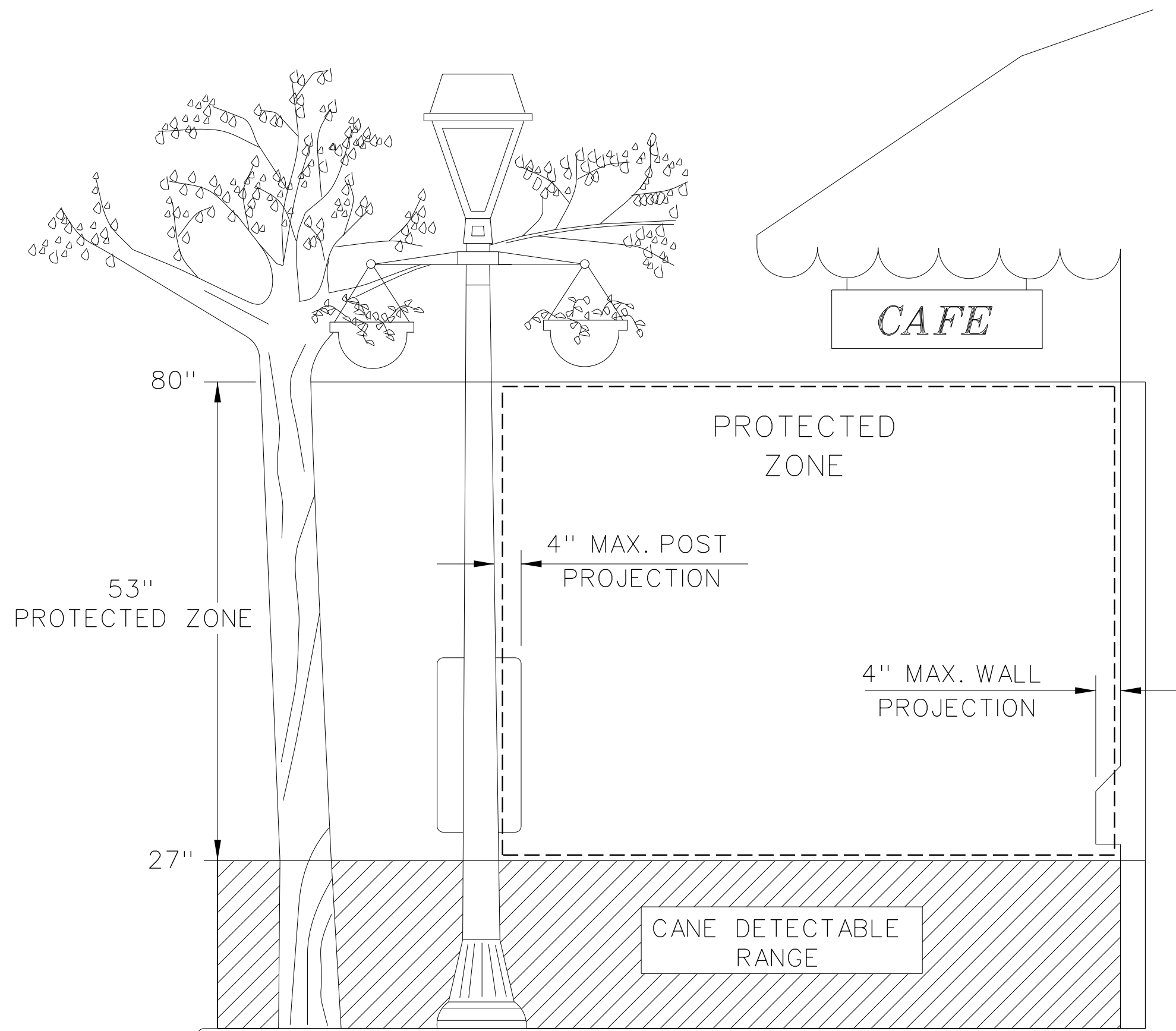
100% SUBMITTAL

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

SIDEWALK TREATMENT AT DRIVEWAYS

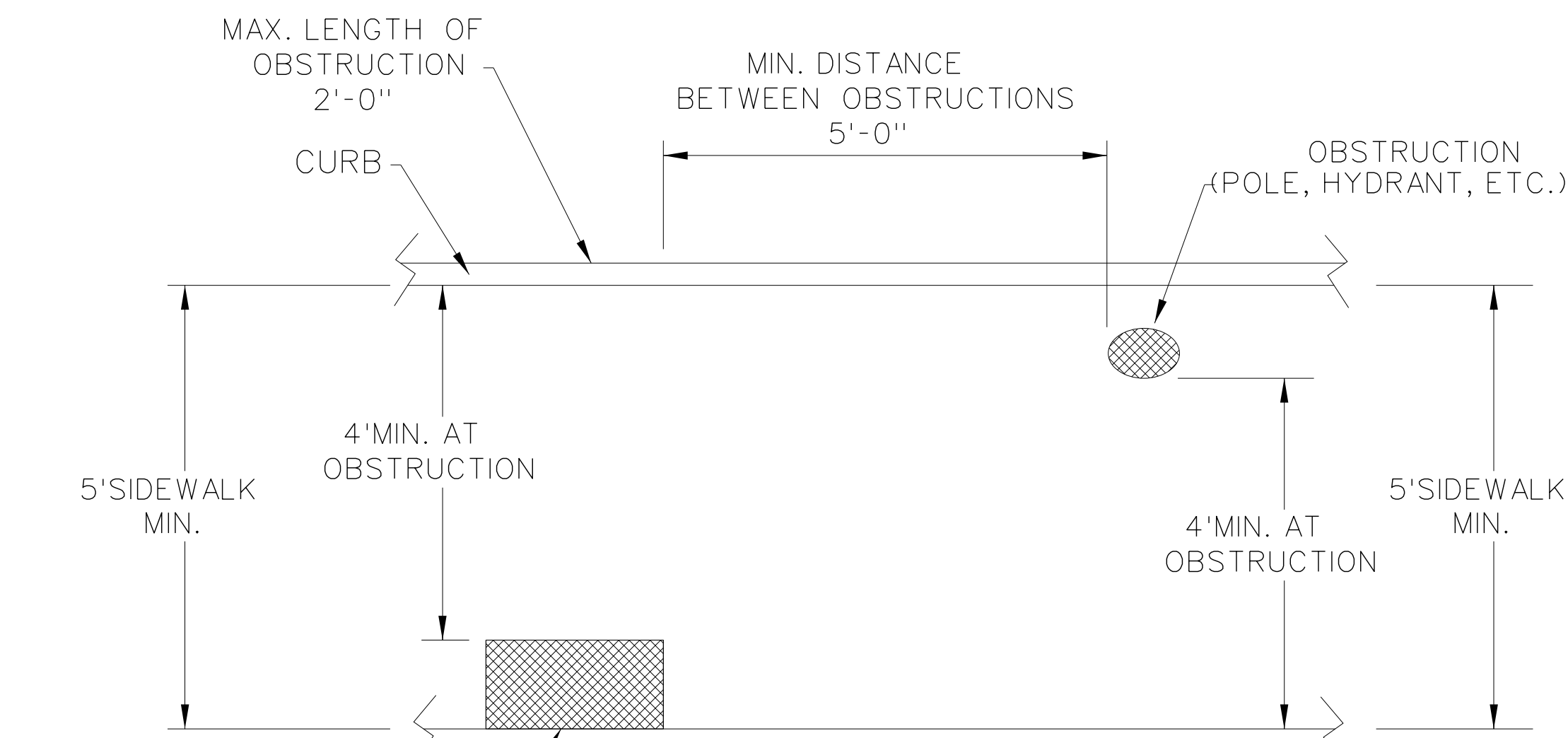


- NOTES:
- * WHERE DRIVEWAYS CROSS THE PEDESTRIAN ROUTE, SIDES SHALL BE FLARED AT 10% MAX SLOPE.
 - * IF CURB HEIGHT IS GREATER THAN 6 INCHES, USE GRADE LESS THAN OR EQUAL TO 5%. HANDRAIL AND DETECTABLE WARNING ARE NOT REQUIRED.



PROTECTED ZONE

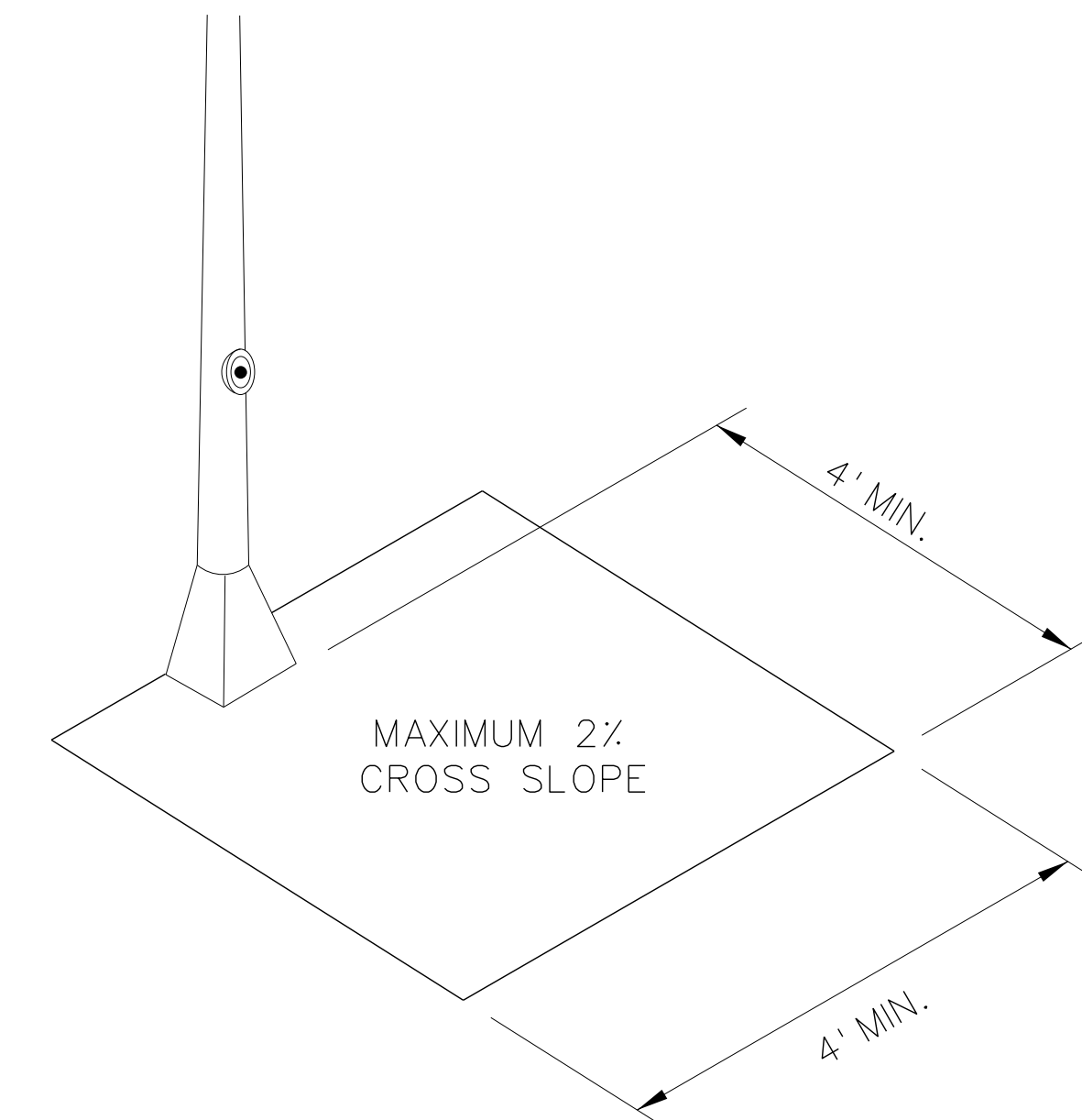
NOTE: IN PEDESTRIAN CIRCULATION AREA, MAXIMUM 4" PROJECTION FOR POST OR WALL MOUNTED OBJECTS BETWEEN 27" AND 80" ABOVE THE SURFACE.



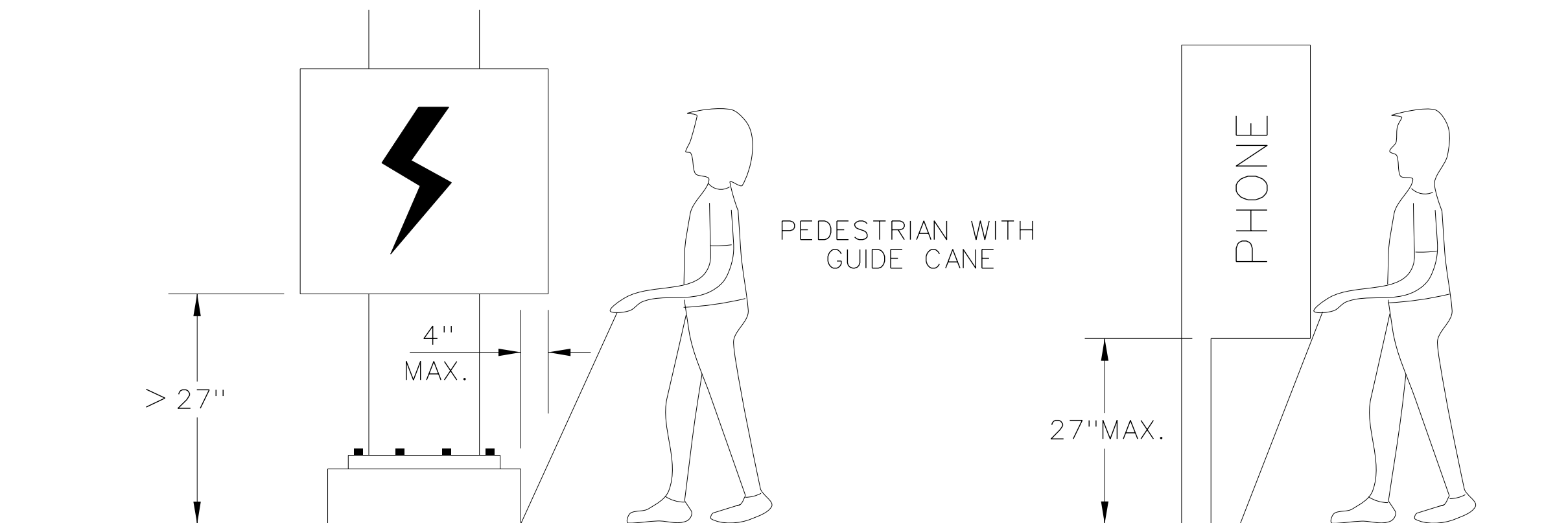
PLAN VIEW

PLACEMENT OF STREET FIXTURES

NOTE: ITEMS NOT INTENDED FOR PUBLIC USE. MINIMUM 4' X 4' CLEAR GROUND SPACE REQUIRED AT PUBLIC USE FIXTURES.



CLEAR SPACE ADJACENT TO PEDESTRIAN PUSH BUTTON




WHEN AN OBSTRUCTION OF A HEIGHT GREATER THAN 27" FROM THE SURFACE WOULD CREATE A PROTRUSION OF MORE THAN 4" INTO THE PEDESTRIAN CIRCULATION AREA, CONSTRUCT ADDITIONAL CURB OR FOUNDATION AT THE BOTTOM TO PROVIDE A MAXIMUM 4" OVERHANG.

PROTRUDING OBJECTS OF A HEIGHT 27" ARE DETECTABLE BY CANE AND DO NOT REQUIRE ADDITIONAL TREATMENT.

DETECTION BARRIER FOR VERTICAL CLEARANCE 80"

SHEET 3 OF 4

**Texas Department of Transportation**

Design Division Standard

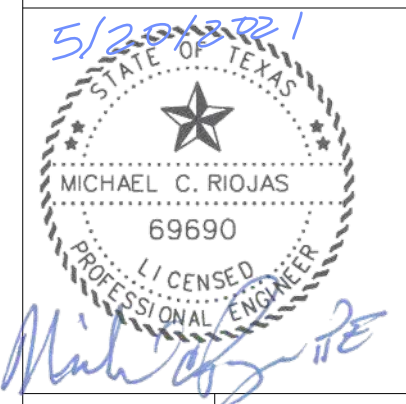
PEDESTRIAN FACILITIES
CURB RAMPS

PED-18

SHEET C-114C

FILE: ped18	DN: TxDOT	DW: VP	CK: KM	CK: PK & JG
© TxDOT: MARCH, 2002	CONT	SECT	JOB	HIGHWAY
REVISED 08/2005 REVISED 06/2012 REVISED 01/2018	DIST	COUNTY	SHEET NO.	

Revisions		
#	Description	Date



PED-18

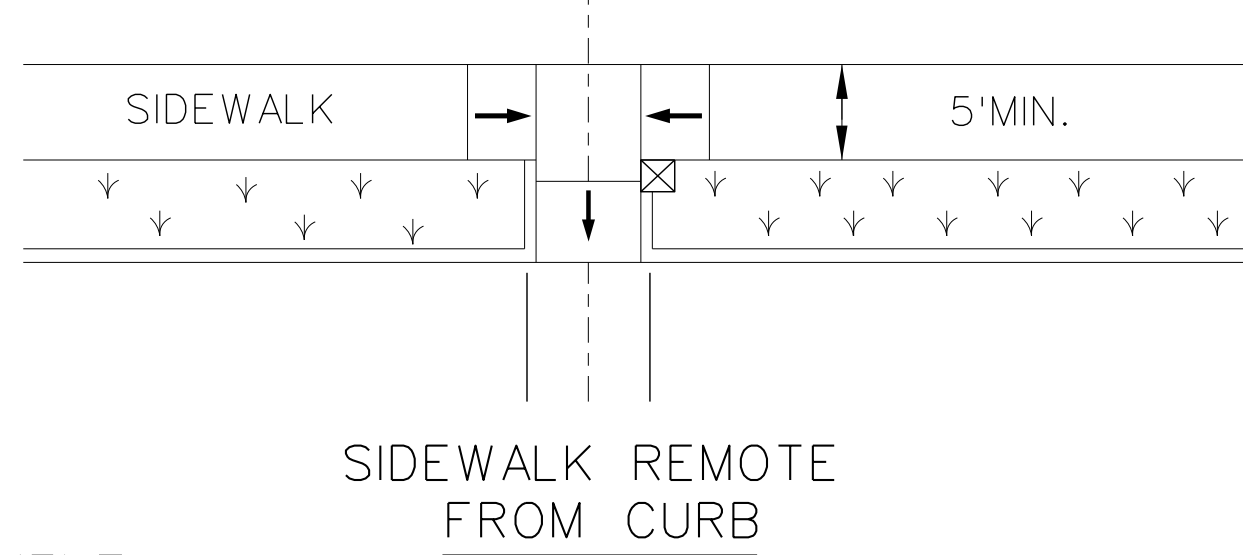
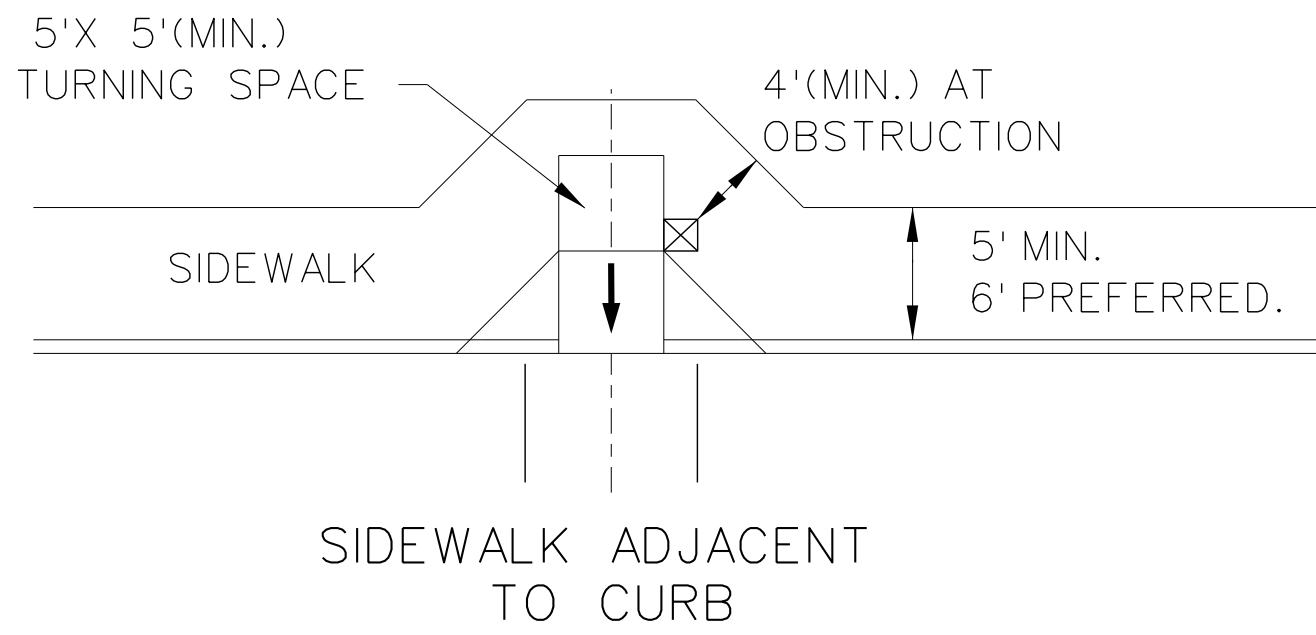
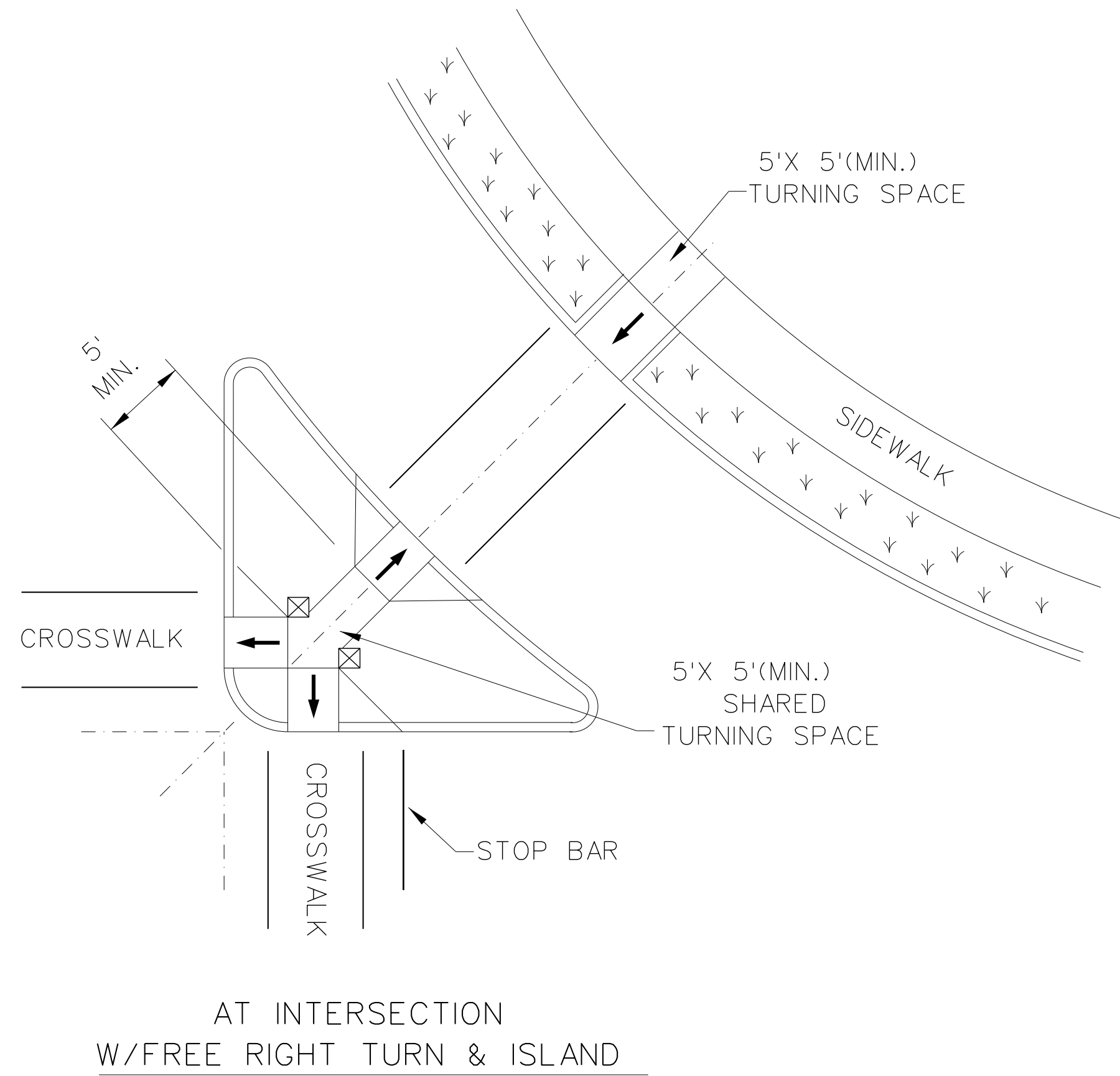
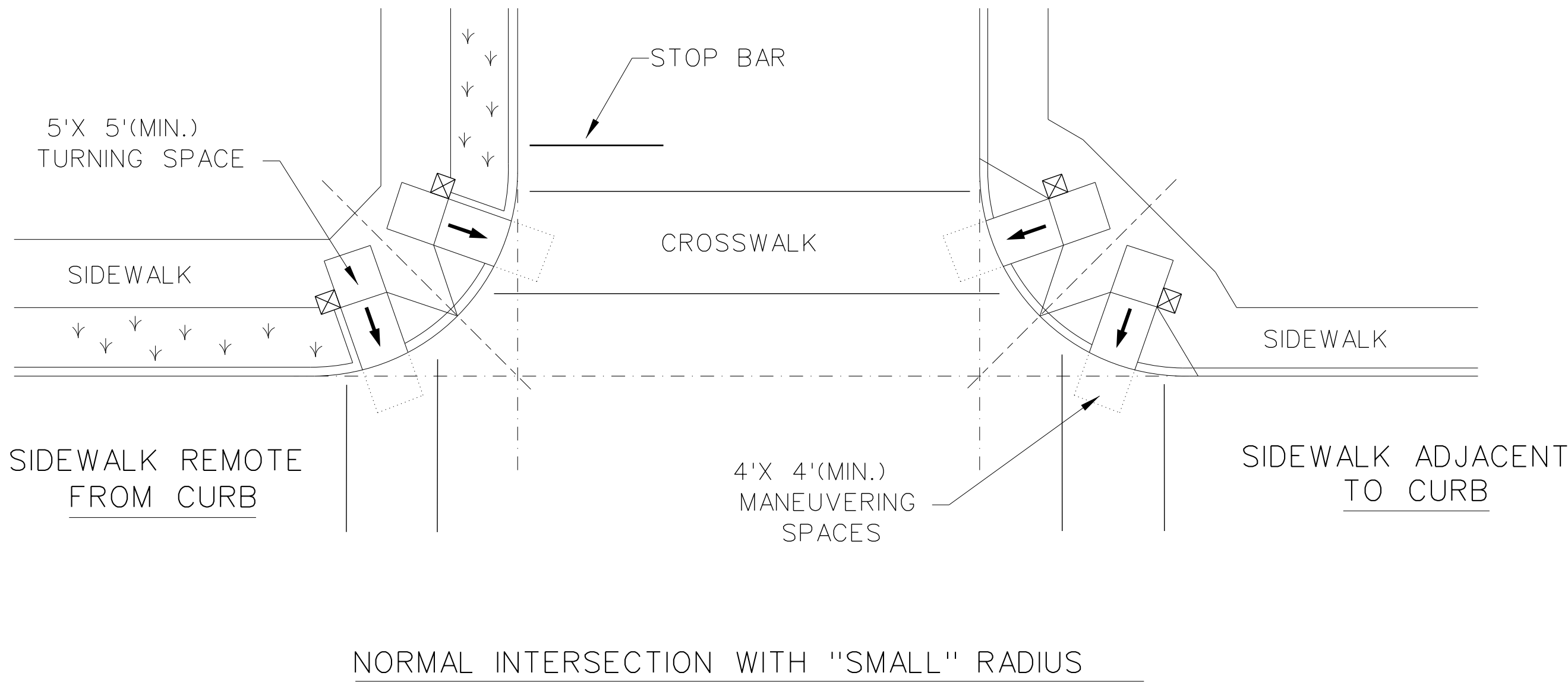
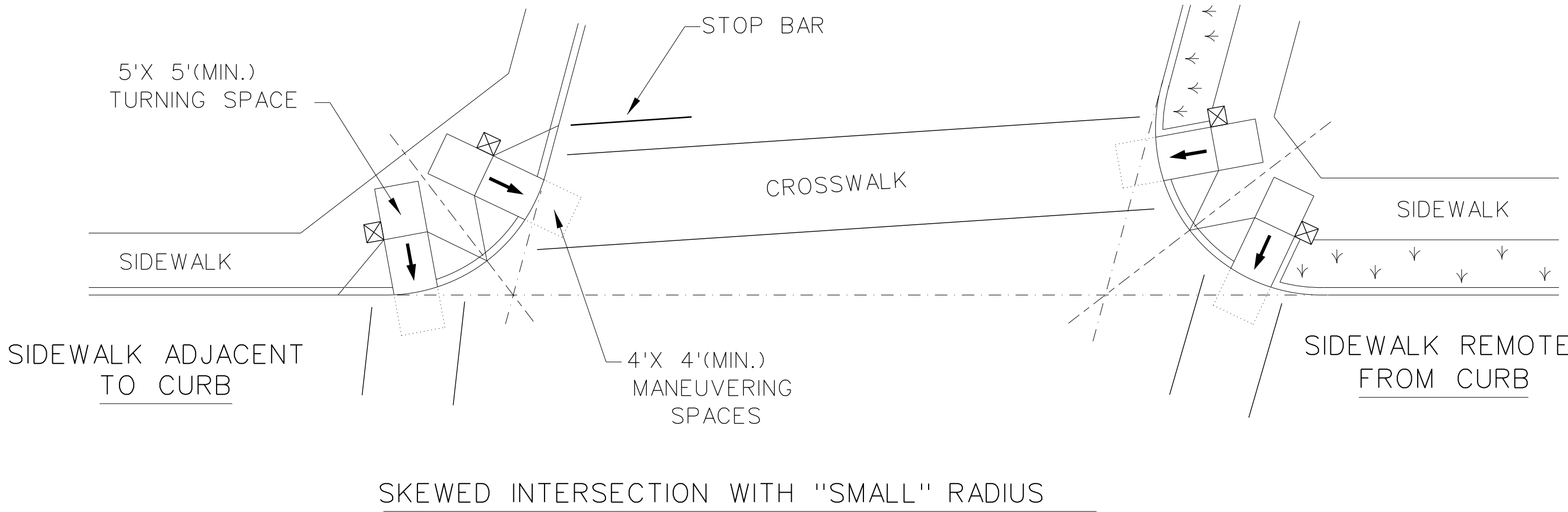
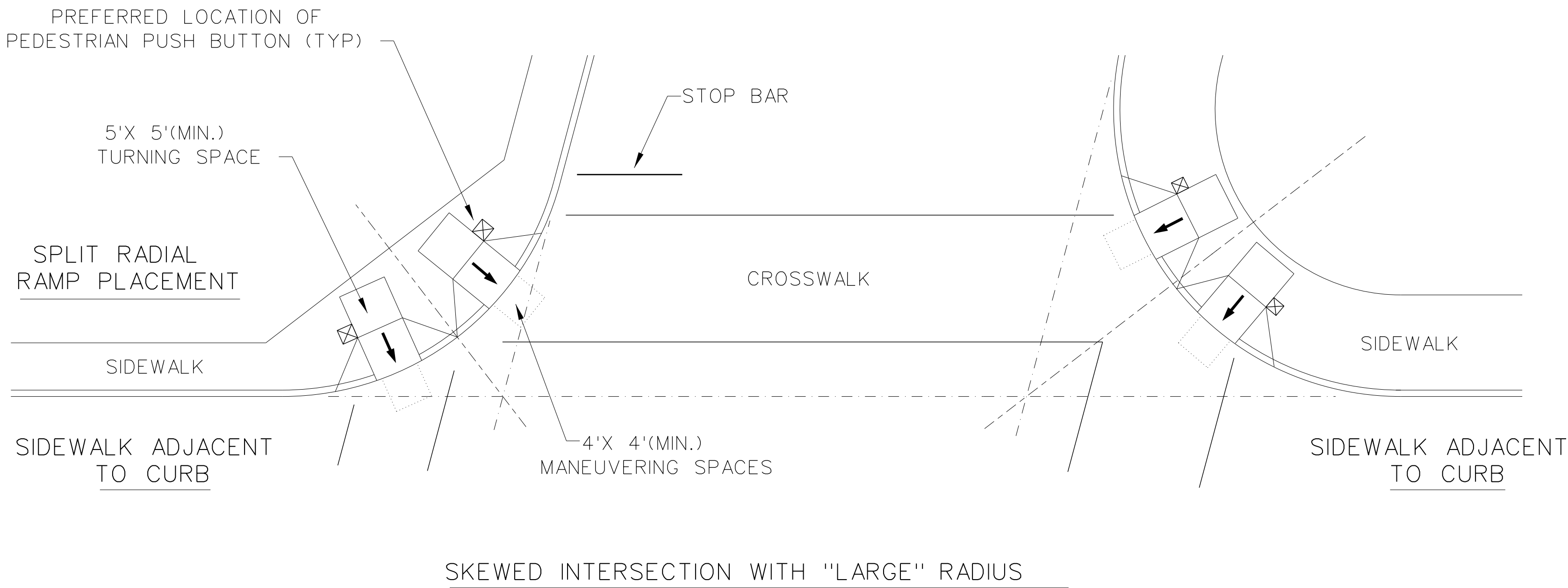
C114C

100% SUBMITTAL

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

9/20/22, AM
9:00 AM
C:\Users\jpatmon\OneDrive\Documents\114400\114400.dwg

TYPICAL CROSSING LAYOUTS
SEE SHEET 1 OF 4 FOR DETAILS AND DIMENSIONS

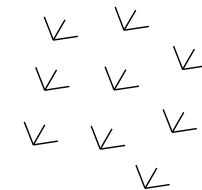


LEGEND:

SHOWS DOWNWARD SLOPE.

DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON (IF APPLICABLE).

DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.



SHEET 4 OF 4



Design
Division
Standard

PEDESTRIAN FACILITIES
CURB RAMPS

PED-18

SHEET C-114D

FILE: ped18	DN: TxDOT	DW: VP	CK: KM	CK: PK & JG
© TxDOT: MARCH, 2002	CONT	SECT	JOB	HIGHWAY
REVISIONS				
REVISED 08/2005				
REVISED 06/2012				
REVISED 01/2018				
	DIST		COUNTY	SHEET NO.

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S-JPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S-JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Description

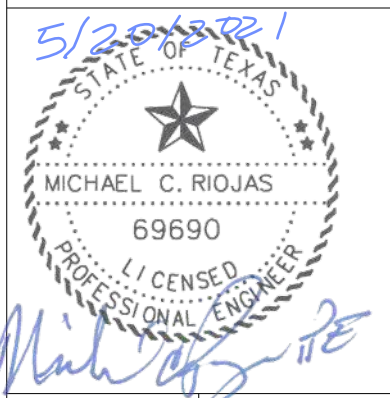
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S-JPA, LLC.
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY



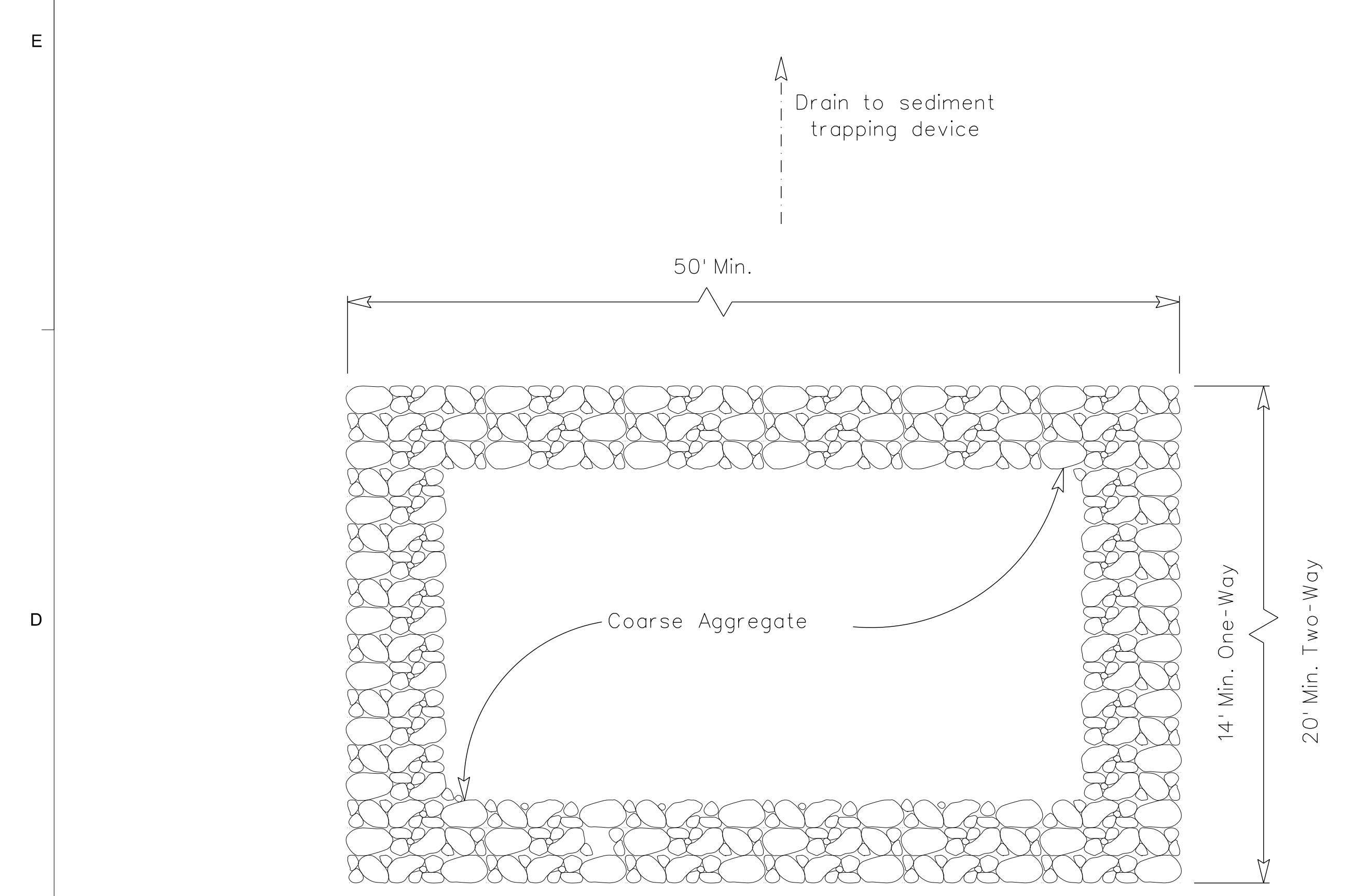
INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS # F-1582

PED-18

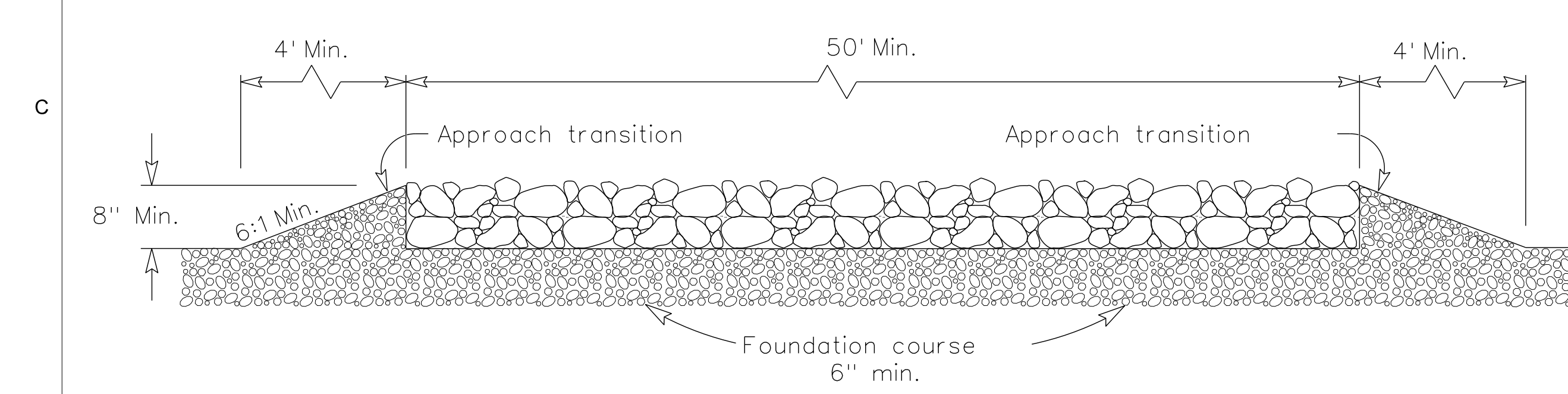
100% SUBMITTAL

C114D

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



PLAN VIEW

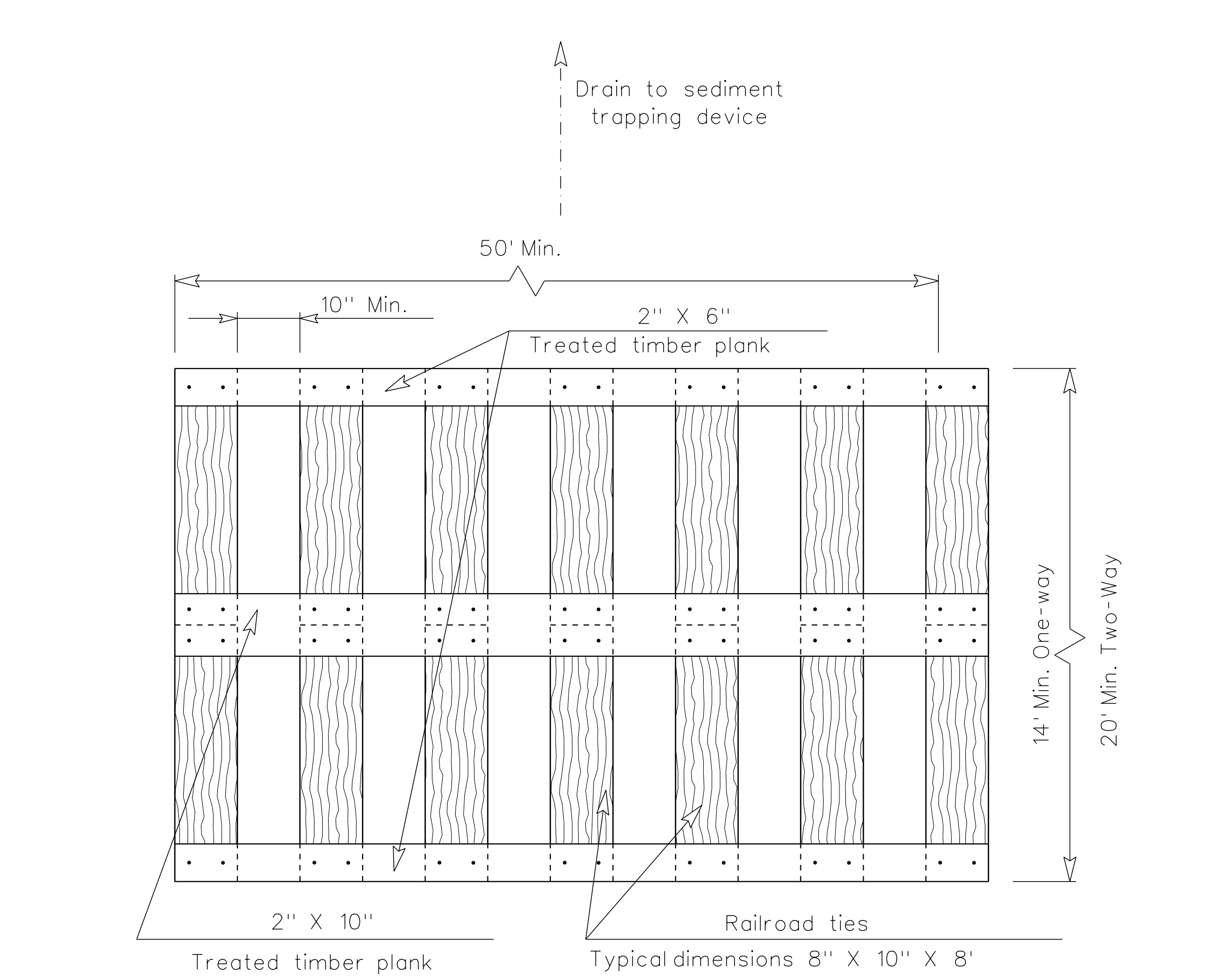


ELEVATION VIEW

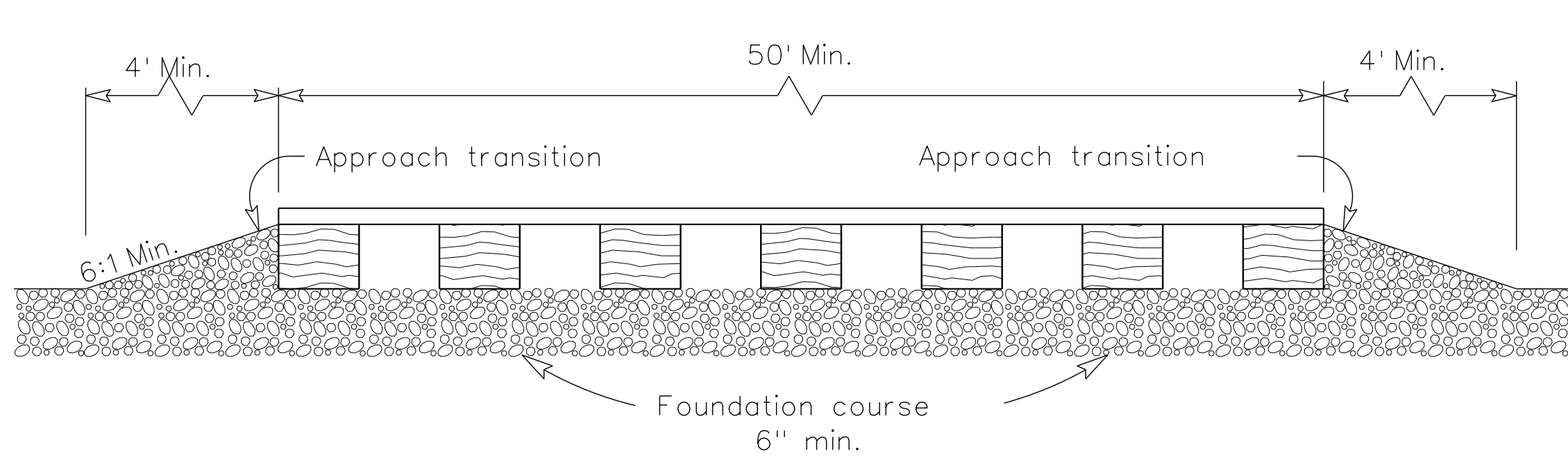
CONSTRUCTION EXIT (TYPE 1)
ROCK CONSTRUCTION (LONG TERM)

GENERAL NOTES (TYPE 1)

1. The length of the type 1 construction exit shall be as indicated on the plans, but not less than 50'.
2. The coarse aggregate should be open graded with a size of 4" to 8".
3. The approach transitions should be no steeper than 6:1 and constructed as directed by the Engineer.
4. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other materials approved by the Engineer.
5. The construction exit shall be graded to allow drainage to a sediment trapping device.
6. The guidelines shown hereon are suggestions only and may be modified by the Engineer.
7. Construct exits with a width of at least 14 ft. for one-way and 20 ft. for two-way traffic for the full width of the exit, or as directed by the engineer.



PLAN VIEW

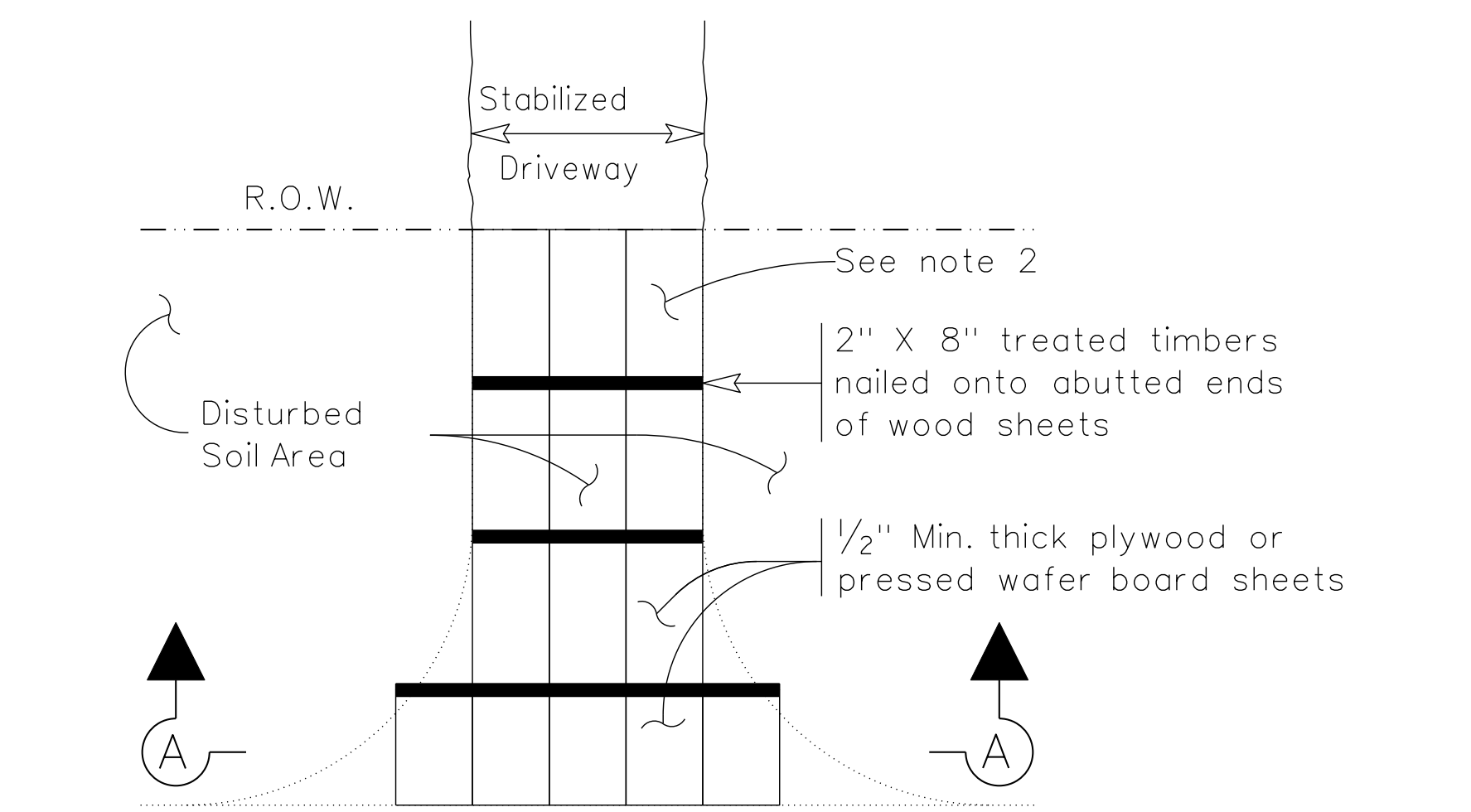


ELEVATION VIEW

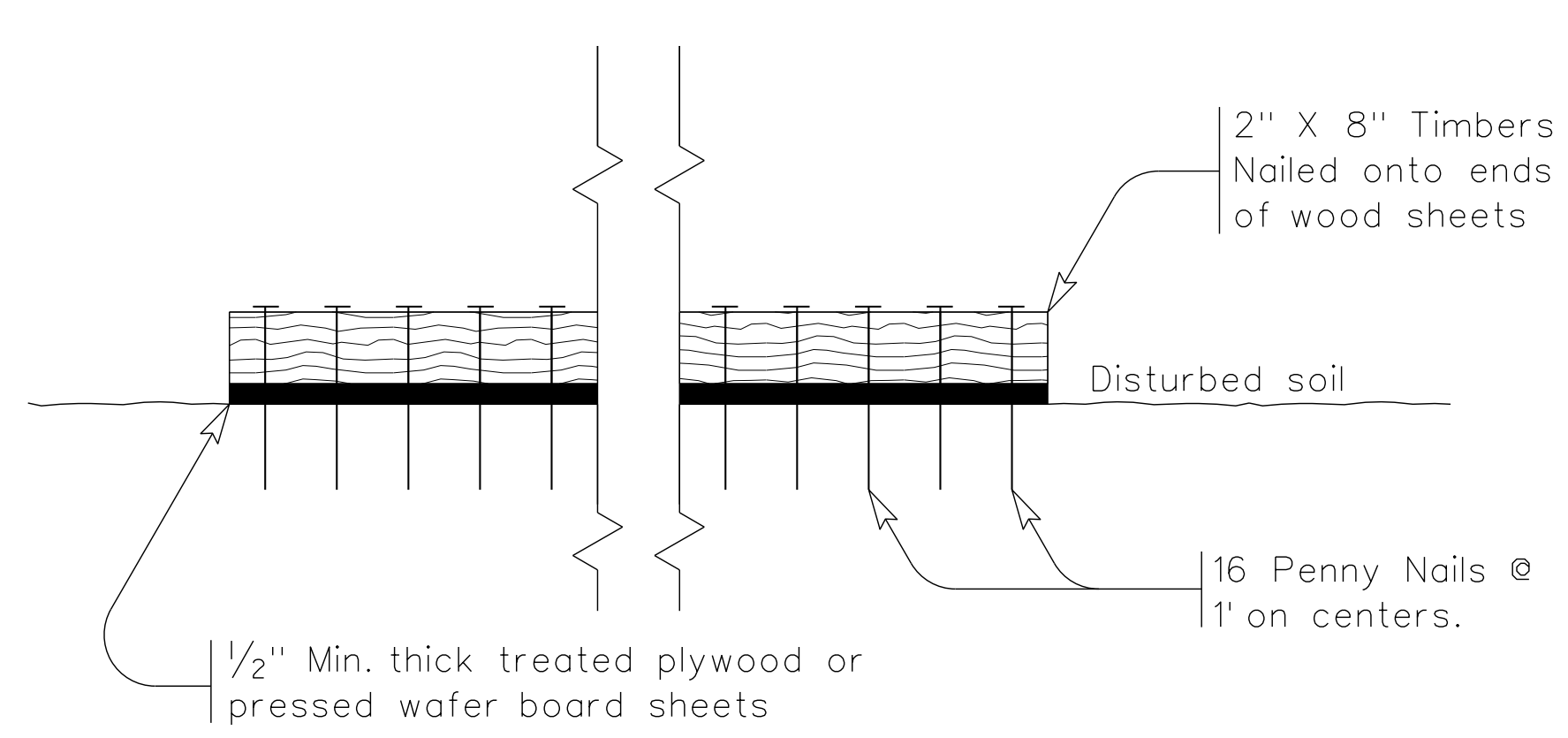
CONSTRUCTION EXIT (TYPE 2)
TIMBER CONSTRUCTION (LONG TERM)

GENERAL NOTES (TYPE 2)

1. The length of the type 2 construction exit shall be as indicated on the plans, but not less than 50'.
2. The treated timber planks shall be attached to the railroad ties with 1/2"x 6" min. lag bolts. Other fasteners may be used as approved by the Engineer.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The approach transitions shall be no steeper than 6:1 and constructed as directed by the Engineer.
5. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
6. The construction exit should be graded to allow drainage to a sediment trapping device.
7. The guidelines shown hereon are suggestions only and may be modified by the Engineer.
8. Construct exits with a width of at least 14 ft. for one-way and 20 ft. for two-way traffic for the full width of the exit, or as directed by the engineer.




PLAN VIEW



SECTION A-A
CONSTRUCTION EXIT (TYPE 3)
SHORT TERM

GENERAL NOTES (TYPE 3)

1. The length of the type 3 construction exit shall be as shown on the plans, or as directed by the Engineer.
2. The type 3 construction exit may be constructed from open graded crushed stone with a size of two to four inches spread a min. of 4" thick to the limits shown on the plans.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The guidelines shown hereon are suggestions only and may be modified by the Engineer.



Design
Division
Standard

TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES
CONSTRUCTION EXITS
EC(3)-16

FILE: ec316
© TxDOT: JULY 2016

DN: IxDQI
CONT: SECT

CK: KM
JOB

DW: VSHEET 16
HIGHWAY

DIST

COUNTY

SHEET NO.

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S-JPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S-JPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Date

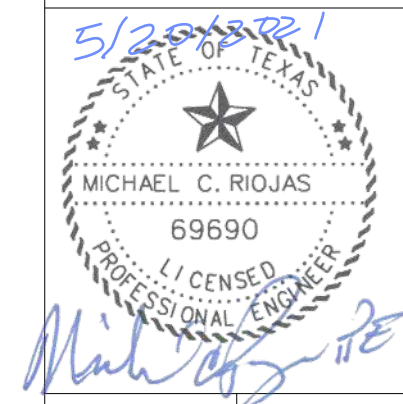
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S-JPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

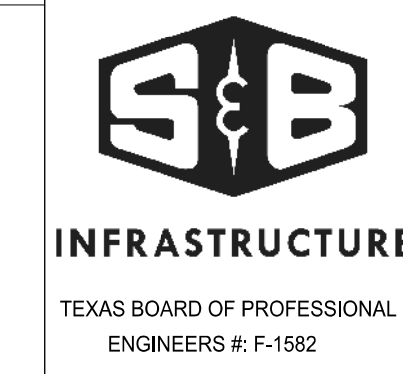
STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

Frio County



EC(3)-16

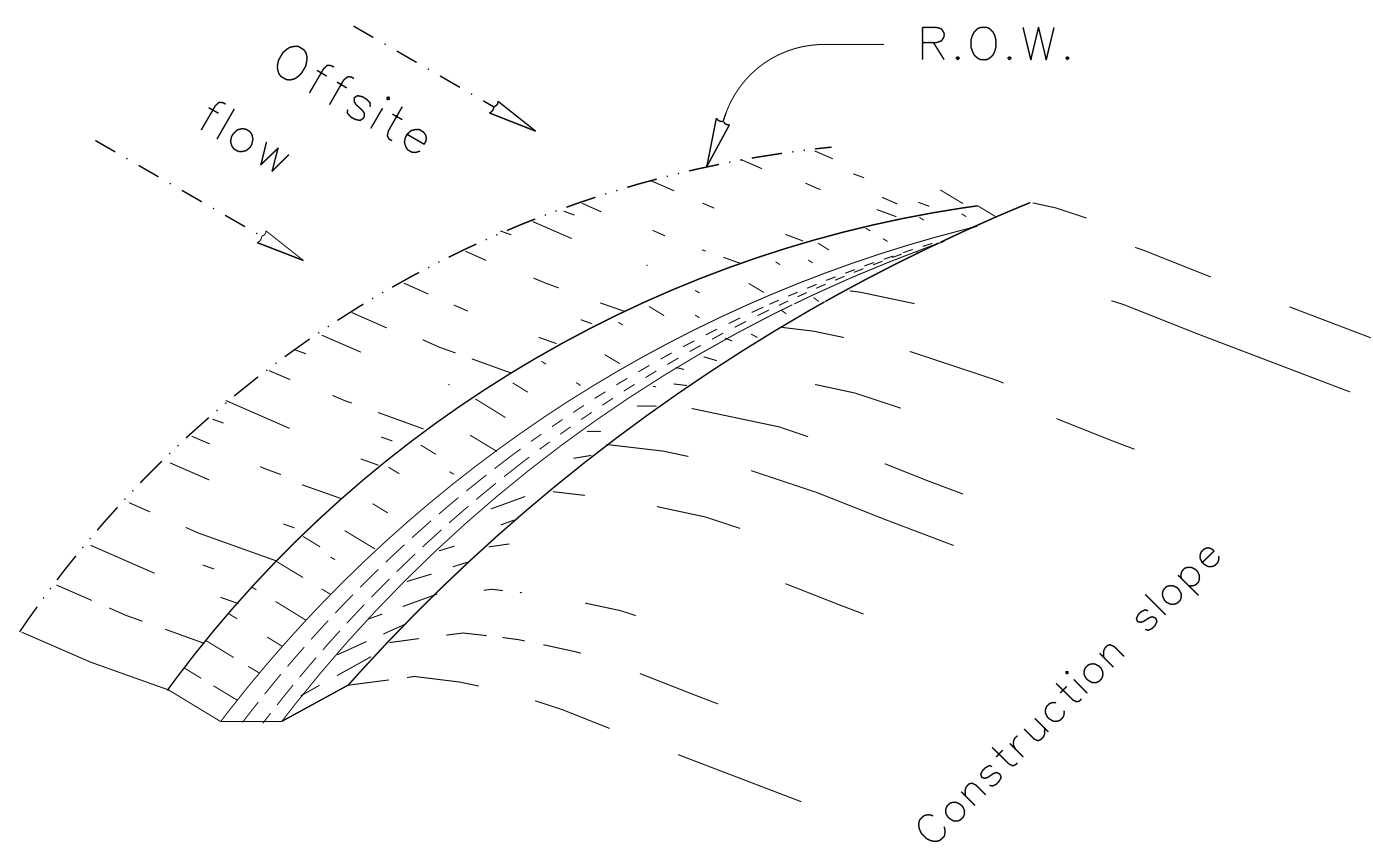
100% SUBMITTAL

C115

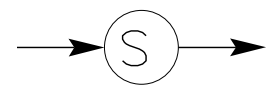
100% SUBMITTAL

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

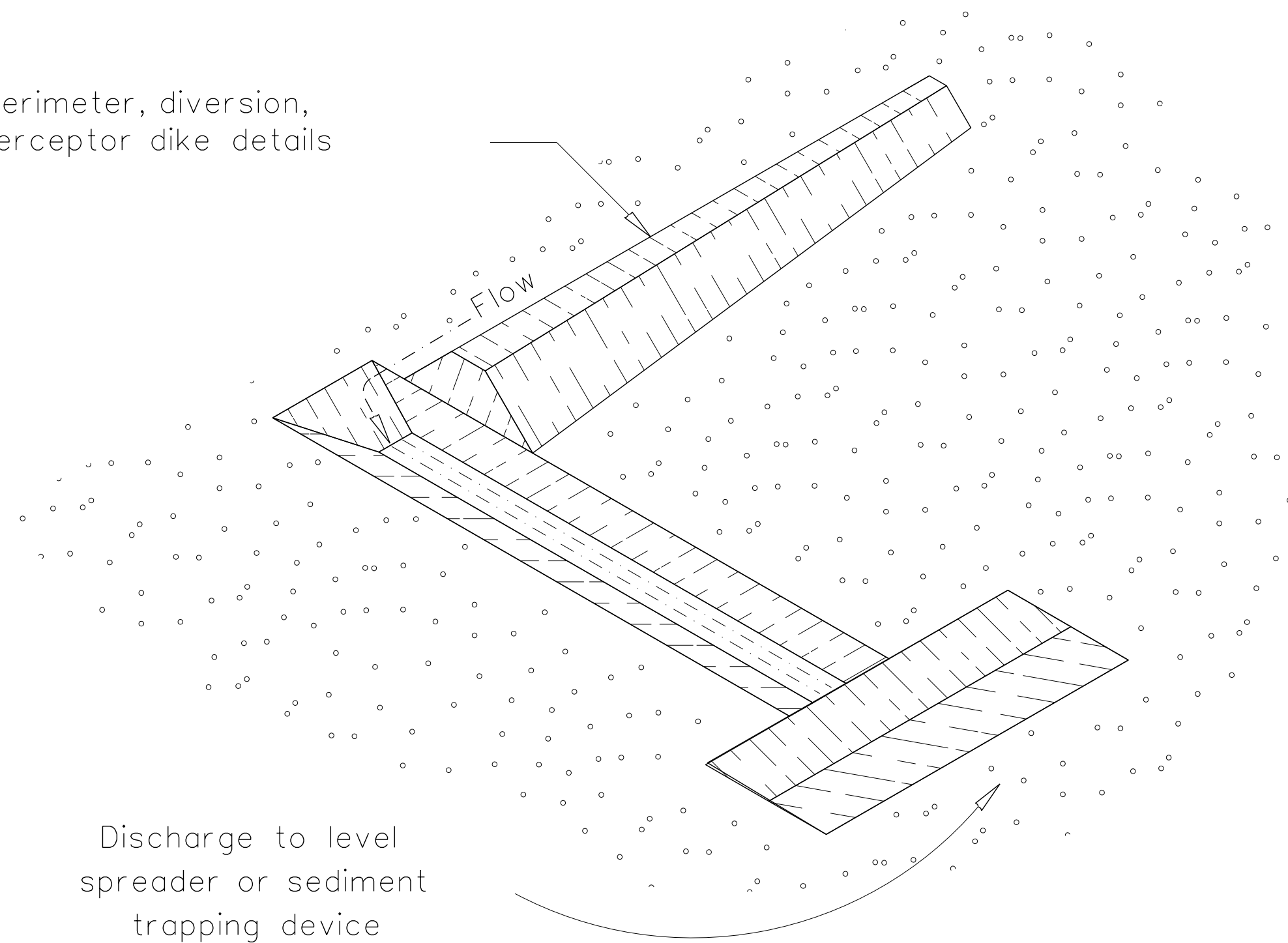
E
D
C
B
A



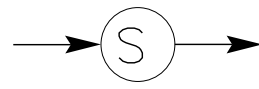
PERIMETER SWALE



See perimeter, diversion, or interceptor dike details



DIVERSION SWALE



GENERAL NOTE

1. Dimensions of swale may be modified with prior approval of the Engineer.
2. Side slopes within the safety clear zone of a roadway shall be 6:1 or flatter.
3. Grading shall be shown elsewhere on the plans or as directed by the Engineer.
4. The Engineer reserves the right to modify the dimensions shown for the swale dependent on runoff volume characteristics.
5. Swales that are in place for more than 14 calendar days should be stabilized through seeding or other measures to control sediment runoff.
6. The guidelines shown hereon are suggestions only and may be modified by the Engineer.
7. Remove sediment and debris when accumulation affects the performance of the devices, after a rain and when directed by the Engineer.

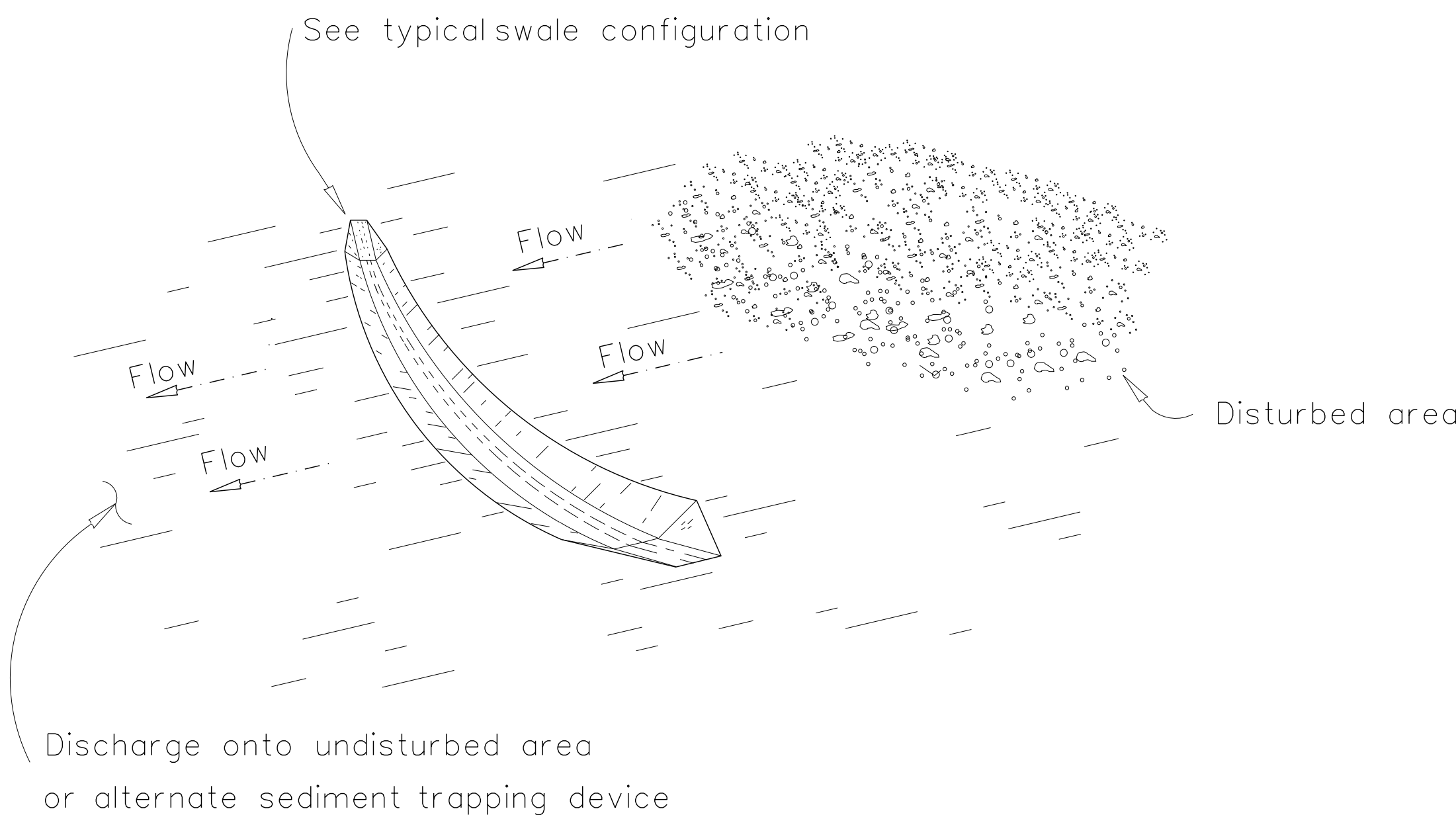
SWALE AND DIKE/SWALE USAGE GUIDELINES

A swale or dike/swale may be used to intercept runoff and divert it around unstabilized areas or to divert sediment laden runoff to an erosion control device (sediment basin or trap, rock filter dam, etc.).

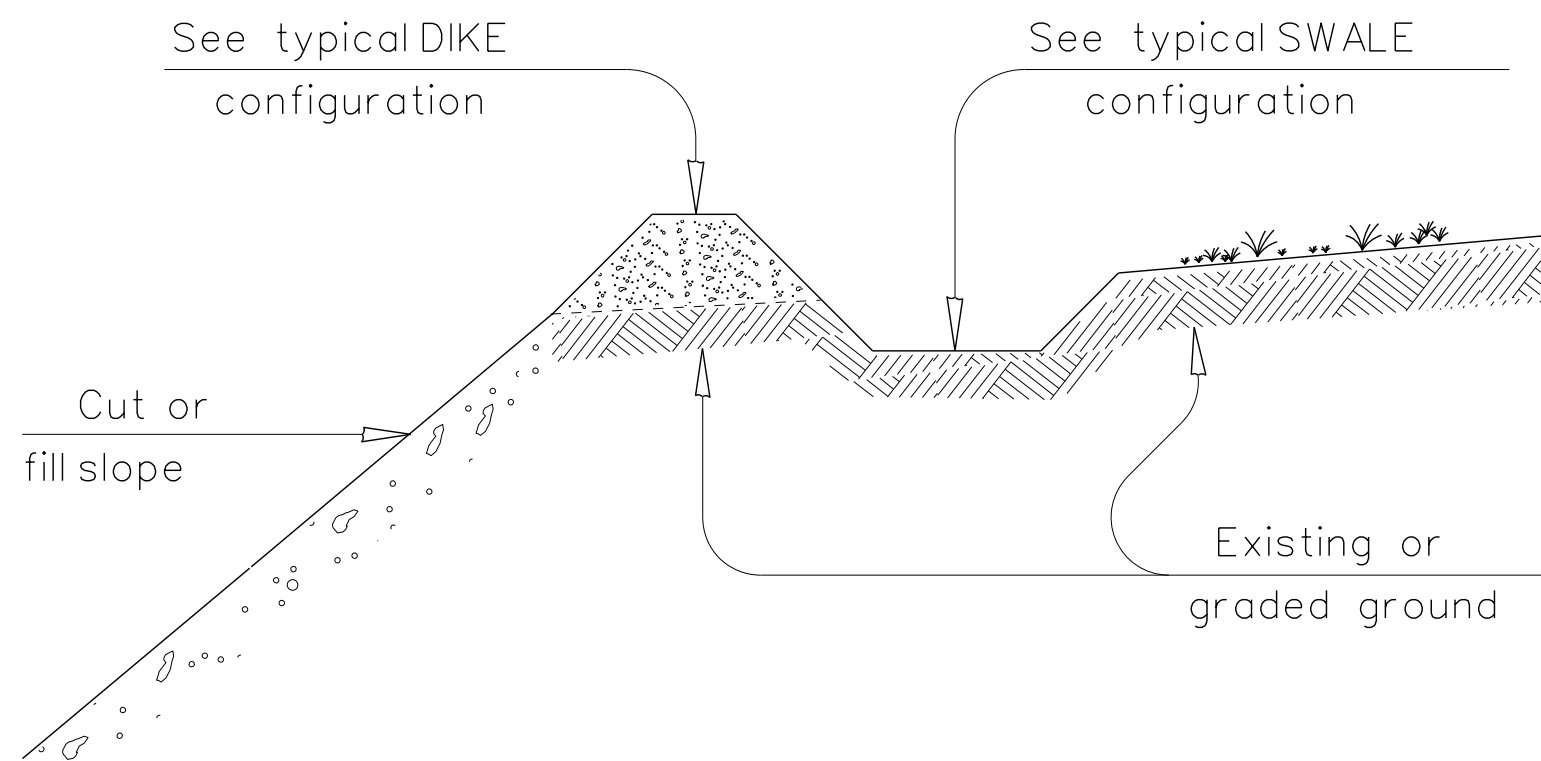
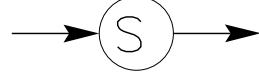
The drainage area contributing runoff to a swale or dike/swale should not exceed 5 acres. The spacing of swales and dike/swales should be as follows:

Slope of disturbed areas above dike	greater than 10%	less than 5%
Maximum distance between dikes	100'	200' 300'

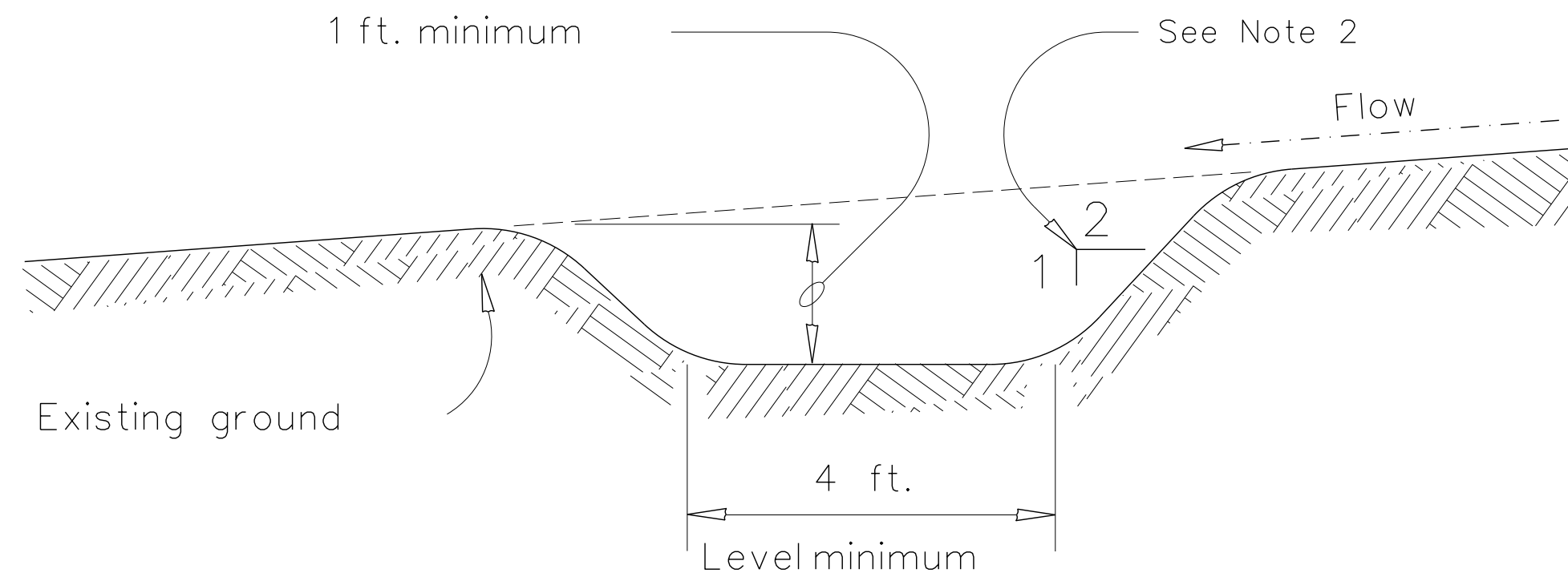
Intercepted runoff flowing in a swale or dike/swale should outlet to a stabilized area (vegetation, rock, etc.).



INTERCEPTOR SWALE

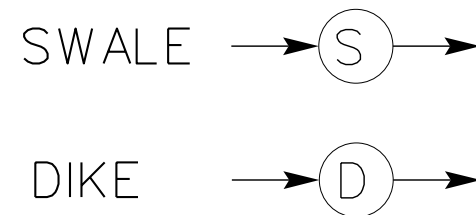


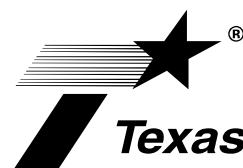
DIVERSION DIKE WITH SWALE



TYPICAL SWALE CONFIGURATION

PLAN SHEET LEGEND





Texas Department of Transportation

Design Division

Standards

TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES
SWALES
(EARTHWORK FOR EROSION CONTROL)

EC(5)-16

SHEET C-16

FILE: ec516	DN: TxDOT	CK: KM	DW: VP	DN/CK: L
© TxDOT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY		SHEET N

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S&B, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S&B CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Description

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S&B, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE, LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY

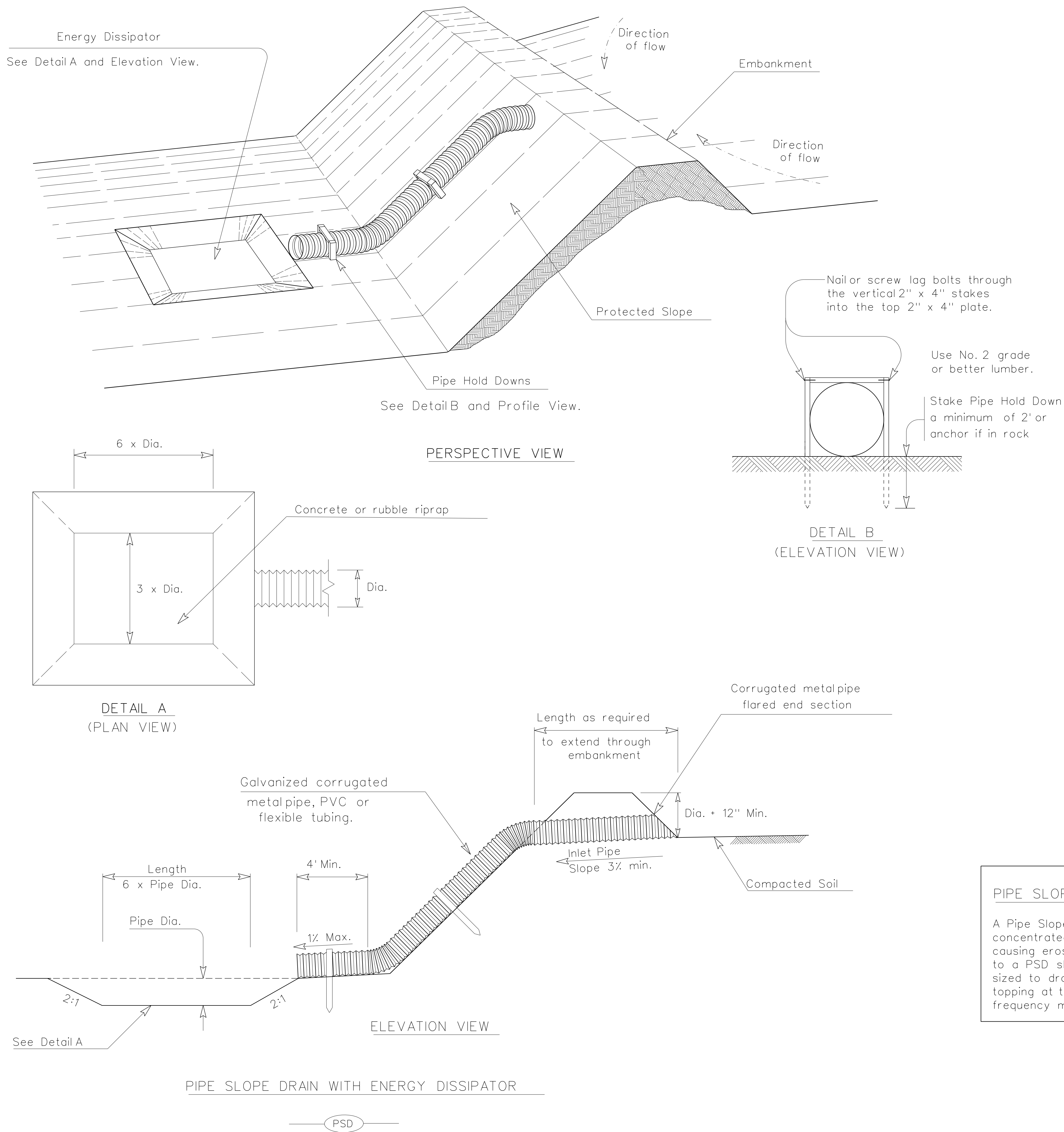


EC(5)-16

100% SUBMITTAL

C117

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



GENERAL NOTES

1. The inlet pipe shall have a slope of 3 percent or greater. Pipe diameter shall be as indicated on the construction drawings.
2. The top of embankment shall be at least 12" higher than the top of the inlet pipe at all points.
3. The pipe shall be galvanized corrugated metal pipe, PVC, or flexible tubing with watertight connection bands.
4. Pipe shall be secured with hold-down grommets spaced a maximum of 10' on centers or with pipe hold downs as shown in Detail B.
5. Construct embankment for the drainage system in 8" lifts to the required elevations. Hand tamp the soil around and under the entrance section to the top of the embankment as shown on the plans or as directed by the engineer.
6. The sediment trap shall be constructed to the dimensions as shown and in accordance with Special Specification, "Earthwork for Erosion Control". As otherwise detailed on the plans, the sediment trap may be stabilized using concrete or rubble riprap as per Item, "Riprap".
7. A standard corrugated metal pipe flared end section shall be used at the entrance of the pipe slope drain.
8. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

PIPE SLOPE DRAIN DESIGN CRITERIA		
PIPE/TUBING SIZE	DIAMETER	MAXIMUM DRAINAGE AREA
PSD 12	12"	0.5 Acre
PSD 18	18"	1.5 Acres
PSD 21	21"	2.5 Acres
PSD 24	24"	3.5 Acres
PSD 30	30"	5.0 Acres

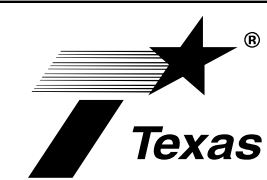
PIPE SLOPE DRAIN USAGE GUIDELINES

A Pipe Slope Drain (PSD) should be constructed to drain concentrated surface runoff safely down slopes without causing erosion. The drainage area contributing runoff to a PSD should not exceed 5 acres. The PSD should be sized to drain the peak rate of runoff without over-topping at the earth dike entrance. A 25 year storm frequency may be used to calculate the flow rate.

PLAN SHEET LEGEND

Pipe Slope Drain

PSD



Texas Department of Transportation

Design Division Standard

TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES
TEMPORARY PIPE SLOPE DRAINS
EC(7)-16

SHEET C-118

FILE: ec716.dgn	DN: IxDOI	CK: KM	DW: VP	DN/CK: LS
© TxDOT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS	DIST	COUNTY	SHEET NO.	

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S&B, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S&B CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Description

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
S&B, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY



INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS # F-1582

EC(7)-16

100% SUBMITTAL

C118

100% SUBMITTAL



1. The group / size is a designator for the dimensions of the paved flume.
The group / size is designated by a letter (A or B) and the bottom (B) dimension.
The appropriate size shall be indicated on the construction plans.
2. Provide rock or rubble with a minimum diameter of 6" and a maximum volume of 1/2 cubic feet for construction of energy dissipaters.
3. For high velocity flows, the aggregate of the energy dissipator should be secured with 20-gauge galvanized woven wire mesh with 1" diameter hexagonal openings. The aggregate should be placed on the mesh to the dimensions specified. The mesh shall be folded at the upstream side over the aggregate and tightly secured to itself on the downstream side using wire ties or hog rings.
4. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

A Paved Flume should be constructed to drain concentrated surface runoff safely down slopes without causing erosion. The drainage area contributing runoff to a paved flume should not exceed that given in the Design Criteria above. The paved flume should be sized to drain the peak rate of runoff without overtopping the embankment at the earth dike entrance. A 25 year storm frequency may be used to calculate the flow rate.

DESIGN CRITERIA					
Group/Size	B Bottom Width	H Min.	D Min.	L Min.	Maximum Drainage Area
A-2	2'	1.5'	8"	5'	5 Acres
A-4	4'	1.5'	8"	5'	8 Acres
A-6	6'	1.5'	8"	5'	11 Acres
A-8	8'	1.5'	8"	5'	14 Acres
A-10	10'	1.5'	8"	5'	18 Acres
B-4	4'	2'	10"	6'	14 Acres
B-6	6'	2'	10"	6'	20 Acres
B-8	8'	2'	10"	6'	25 Acres
B-10	10'	2'	10"	6'	31 Acres
B-12	12'	2'	10"	6'	36 Acres

Paved Flume



TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES
TEMPORARY PAVED FLUMES

SHEET C-119

100% SUBMITTAL

C119

CONSULTANTS

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

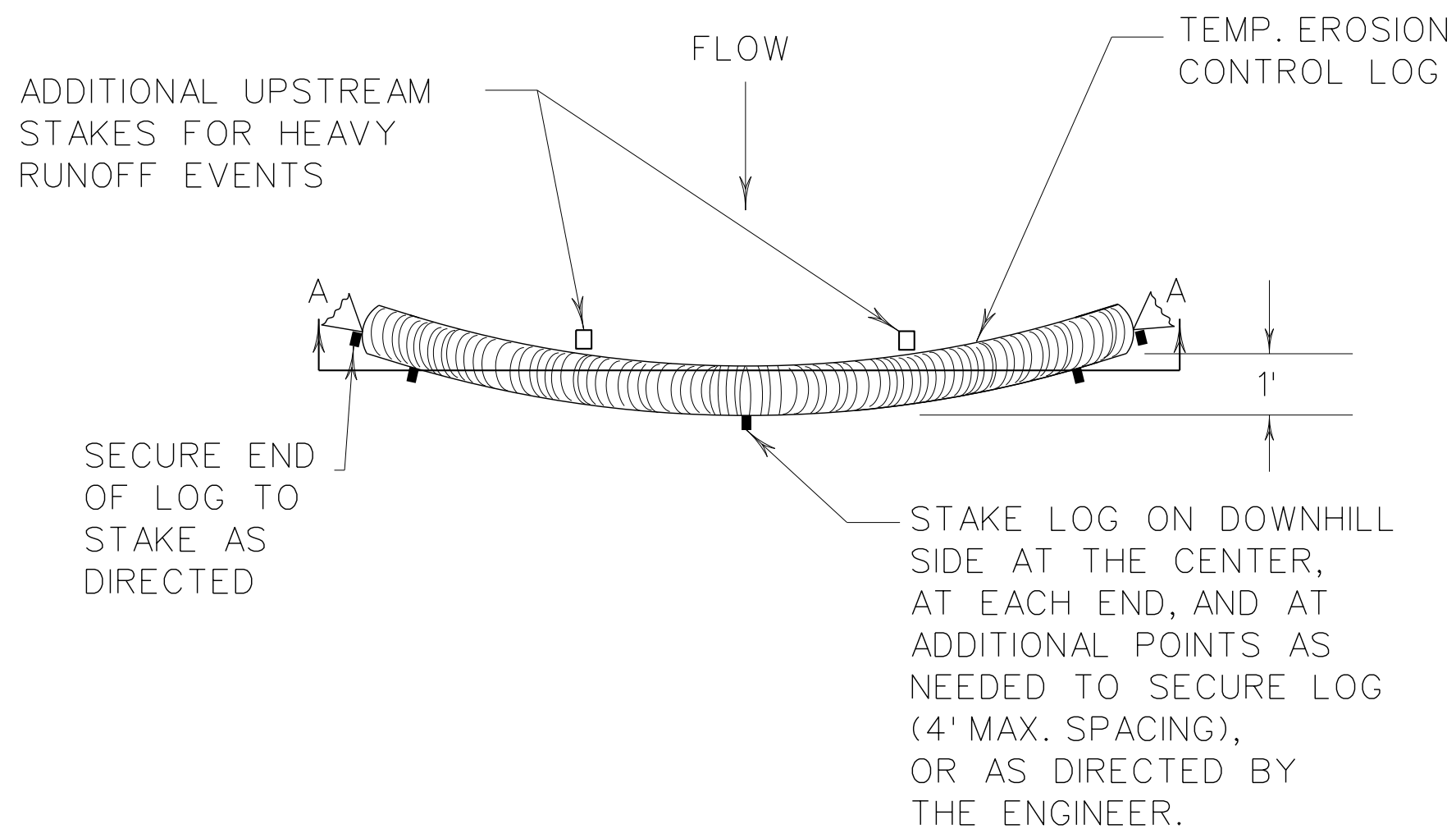
FRIO COUNTY



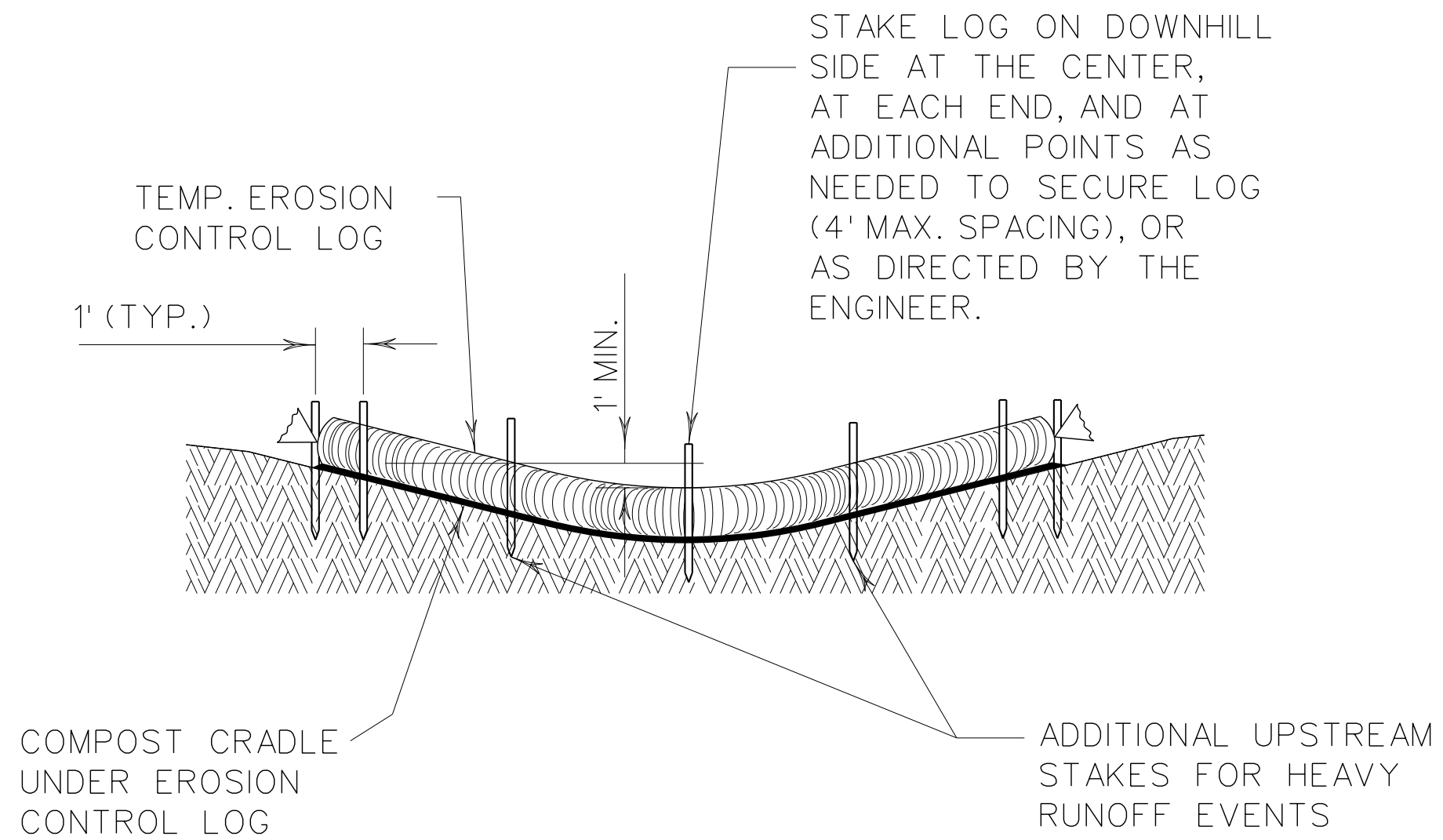
INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS #: F-1582

EC(8)-16

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



PLAN VIEW



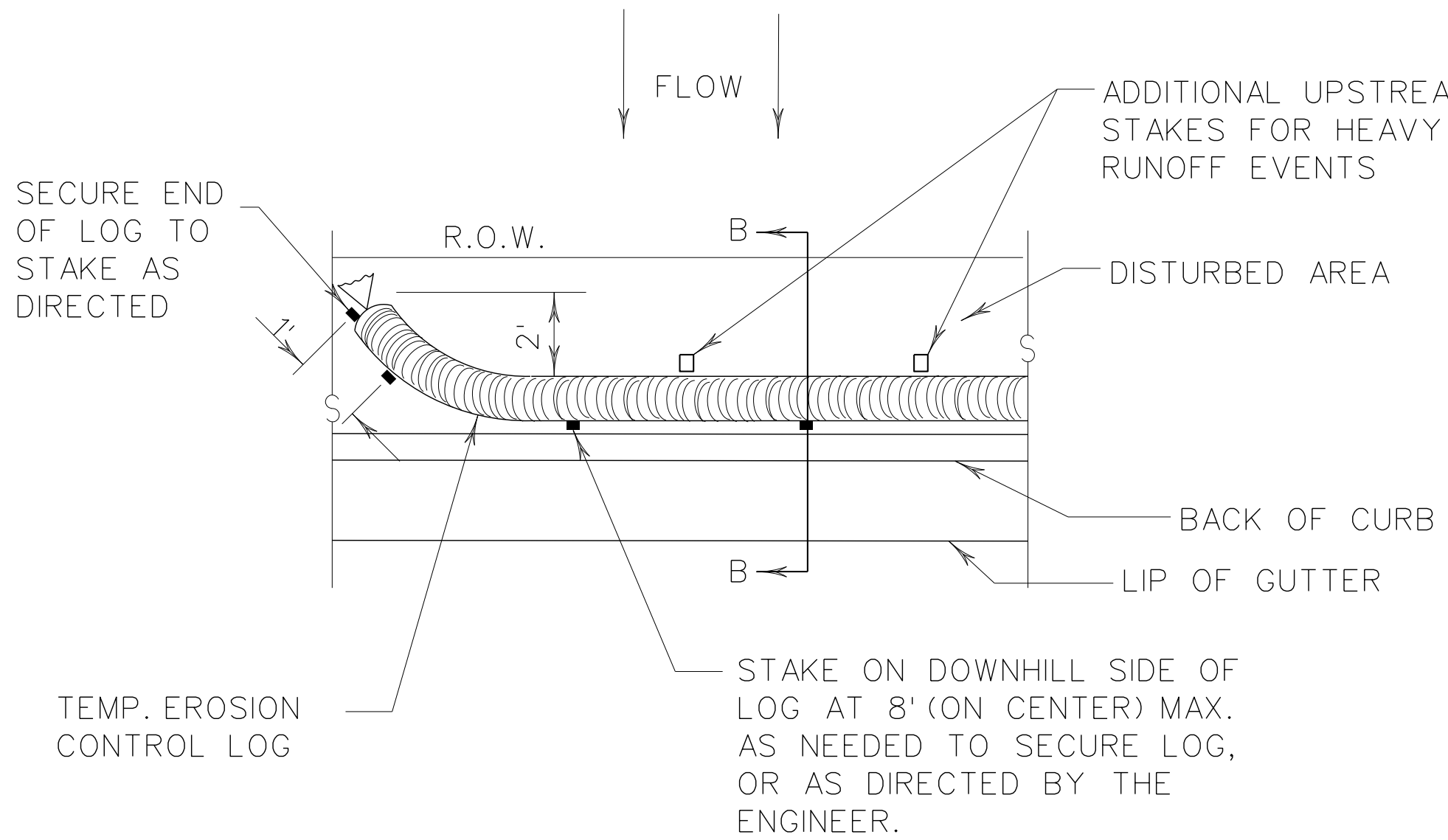
SECTION A-A

EROSION CONTROL LOG DAM

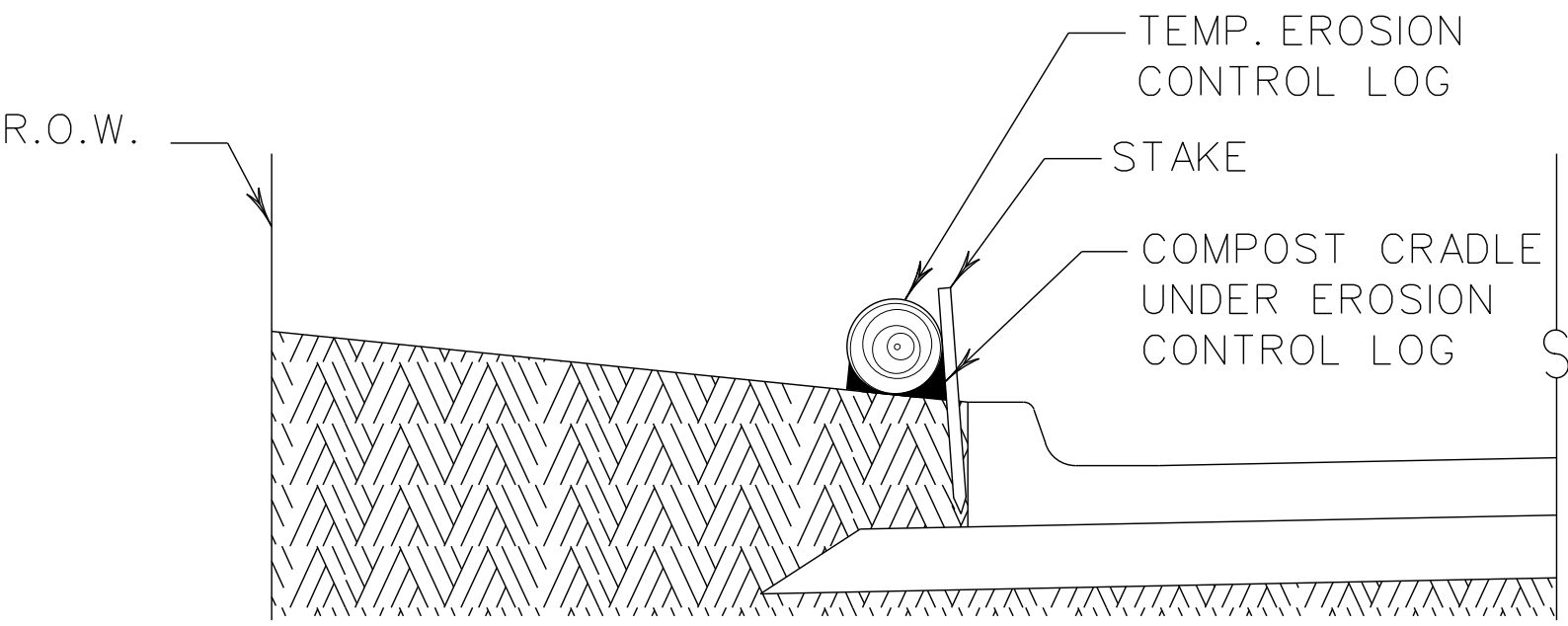
CL-D

LEGEND

- CL-D — EROSION CONTROL LOG DAM
- CL-BOC — EROSION CONTROL LOG AT BACK OF CURB
- CL-ROW — EROSION CONTROL LOG AT EDGE OF RIGHT-OF-WAY
- CL-SST — EROSION CONTROL LOGS ON SLOPES STAKE AND TRENCHING ANCHORING
- CL-SSL — EROSION CONTROL LOGS ON SLOPES STAKE AND LASHING ANCHORING
- CL-DI — EROSION CONTROL LOG AT DROP INLET
- CL-CI — EROSION CONTROL LOG AT CURB INLET
- CL-GI — EROSION CONTROL LOG AT CURB & GRATE INLET



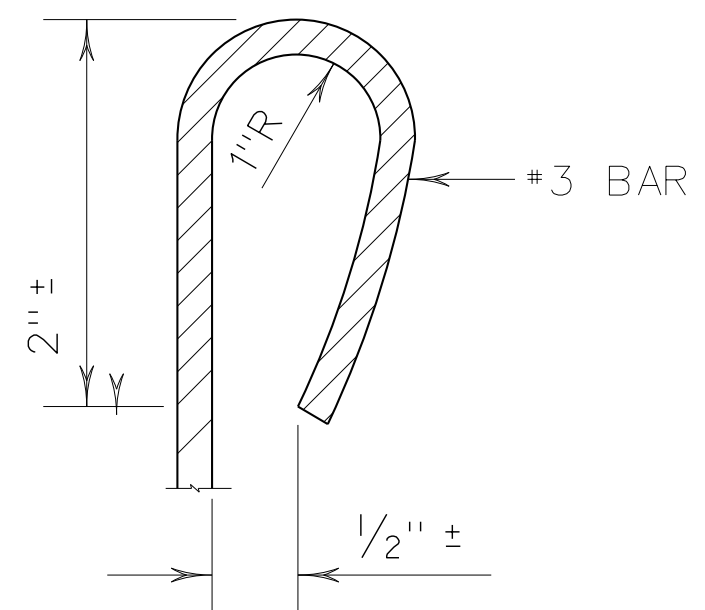
PLAN VIEW



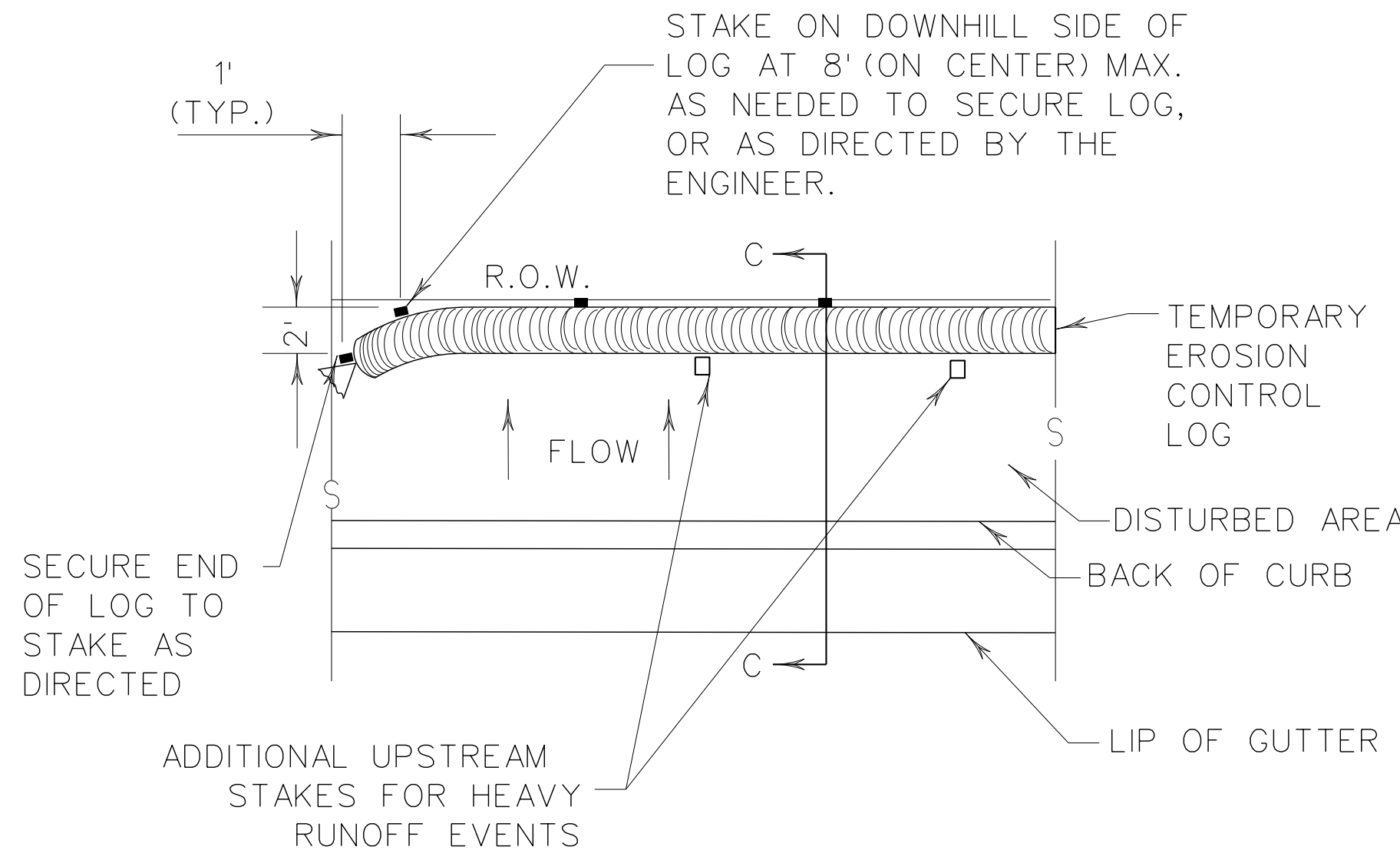
SECTION B-B

EROSION CONTROL LOG AT BACK OF CURB

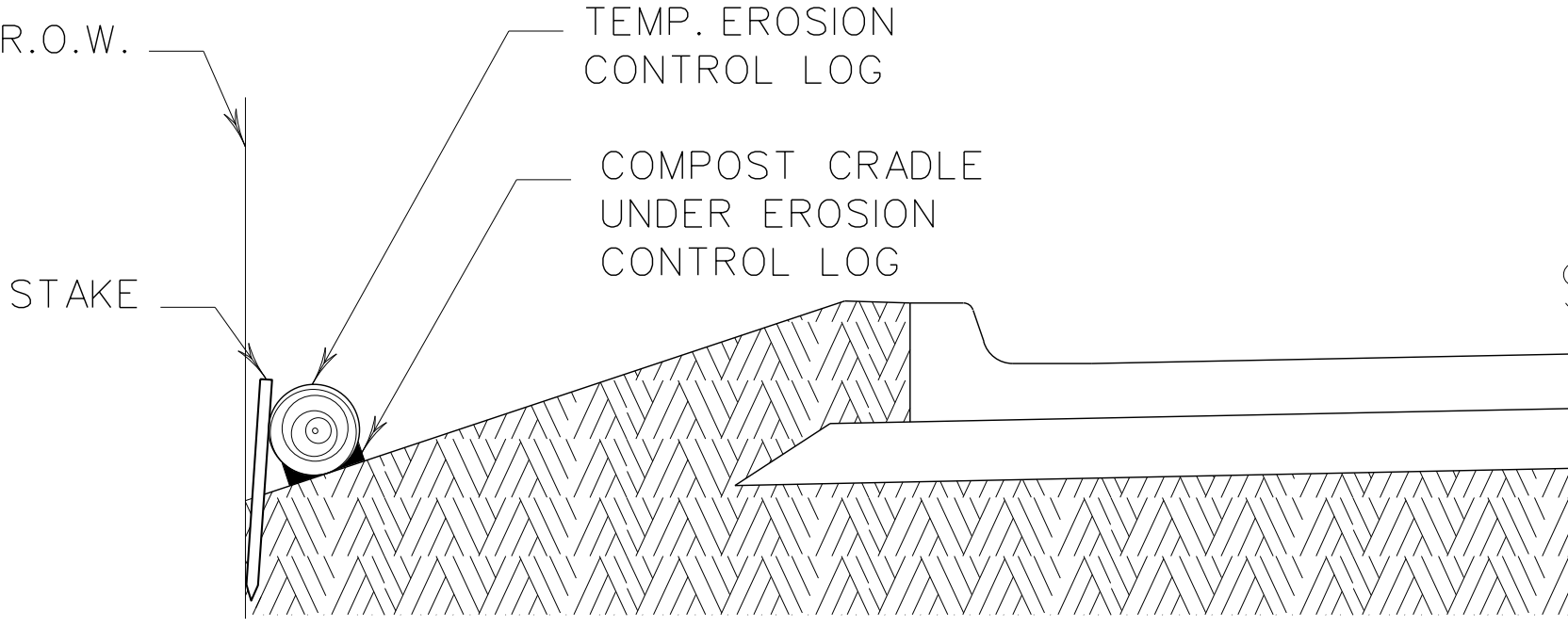
CL-BOC



REBAR STAKE DETAIL



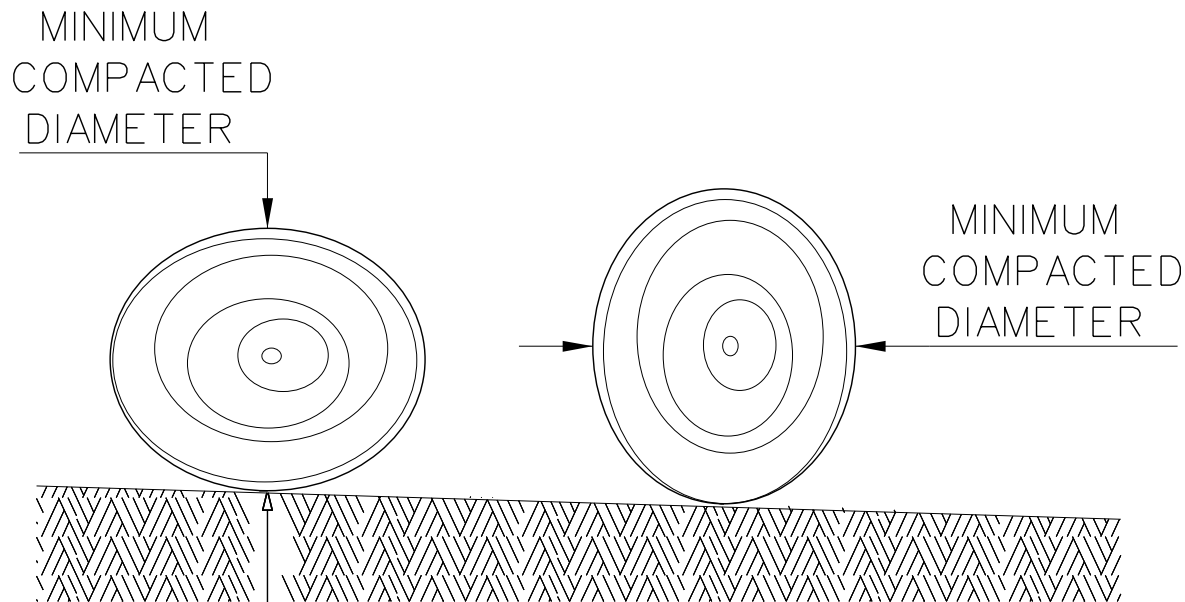
PLAN VIEW



SECTION C-C

EROSION CONTROL LOG AT EDGE OF RIGHT-OF-WAY

CL-ROW



DIAMETER MEASUREMENTS OF EROSION CONTROL LOGS SPECIFIED IN PLANS

GENERAL NOTES:

1. EROSION CONTROL LOGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, OR AS DIRECTED BY THE ENGINEER.
2. LENGTHS OF EROSION CONTROL LOGS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR THE PURPOSE INTENDED.
3. UNLESS OTHERWISE DIRECTED, USE BIODEGRADABLE OR PHOTODEGRADABLE CONTAINMENT MESH ONLY WHERE LOG WILL REMAIN IN PLACE AS PART OF A VEGETATIVE SYSTEM. FOR TEMPORARY INSTALLATIONS, USE RECYCLABLE CONTAINMENT MESH.
4. FILL LOGS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE THE MINIMUM COMPACTED DIAMETER SPECIFIED IN THE PLANS WITHOUT EXCESSIVE DEFORMATION.
5. STAKES SHALL BE 2" X 2" WOOD OR #3 REBAR, 2'-4' LONG, EMBEDDED SUCH THAT 2" PROTRUDES ABOVE LOG, OR AS DIRECTED BY THE ENGINEER.
6. DO NOT PLACE STAKES THROUGH CONTAINMENT MESH.
7. COMPOST CRADLE MATERIAL IS INCIDENTAL & WILL NOT BE PAID FOR SEPARATELY.
8. SANDBAGS USED AS ANCHORS SHALL BE PLACED ON TOP OF LOGS & SHALL BE OF SUFFICIENT SIZE TO HOLD LOGS IN PLACE.
9. TURN THE ENDS OF EACH ROW OF LOGS UPSLOPE TO PREVENT RUNOFF FROM FLOWING AROUND THE LOG.
10. FOR HEAVY RUNOFF EVENTS, ADDITIONAL UPSTREAM STAKES MAY BE NECESSARY TO KEEP LOG FROM FOLDING IN ON ITSELF.

SEDIMENT BASIN & TRAP USAGE GUIDELINES

An erosion controllog sediment trap may be used to filter sediment out of runoff draining from an unstabilized area.

Log Traps: The drainage area for a sediment trap should not exceed 5 acres. The trap capacity should be 1800 CF/Acre (0.5" over the drainage area).


Controllogs should be placed in the following locations:

1. Within drainage ditches spaced as needed or min. 500' on center
2. Immediately preceding ditch inlets or drain inlets
3. Just before the drainage enters a water course
4. Just before the drainage leaves the right of way
5. Just before the drainage leaves the construction limits where drainage flows away from the project.

The logs should be cleaned when the sediment has accumulated to a depth of 1/2 the log diameter.

Cleaning and removal of accumulated sediment deposits is incidental and will not be paid for separately.

SHEET 1 OF 3

**Texas Department of Transportation**

Design Division Standard

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES
EROSION CONTROL LOG
EC(9)-16
SHEET C-120

FILE: ec916	DN: TxDOT	CK: KM	DW: LS/PT	CK: LS
© TxDOT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS	DIST	COUNTY	SHEET NO.	

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF S&B STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-S&B CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

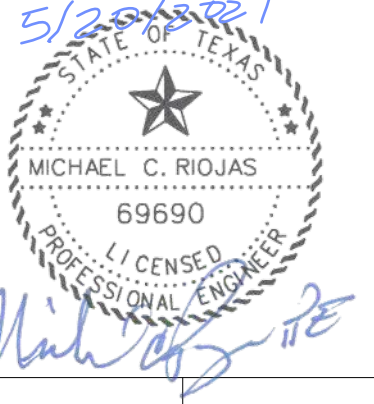
Revisions	
#	Description

ARCHITECT
STEVE J. PATMON, AIA
S&B, LLC.
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE, LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY



EC(9)-16

100% SUBMITTAL

C120

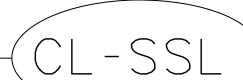
DISCLAIMER:
The use of



CL-SST



* ADJUSTMENTS CAN BE MADE FOR SOIL TYPE:
SOFT, LOAMY SOILS-ADJUST ROWS CLOSER TOGETHER;
HARD, ROCKY SOILS- ADJUST ROWS FARTHER APART



CL-SSL



LOG DIAMETER	DEPTH
6"	2"
8"	3"
12"	4"
18"	5"



Texas Department of Transportation

TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES
EROSION CONTROL LOG

EC(9)-16 SHEET C-121

FILE: ec116	DN: TxDOT	CK: KM	DW: LS/PT	CK: LS
© TxDOT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY		SHEET NO.

C121

CONSULTANTS

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY



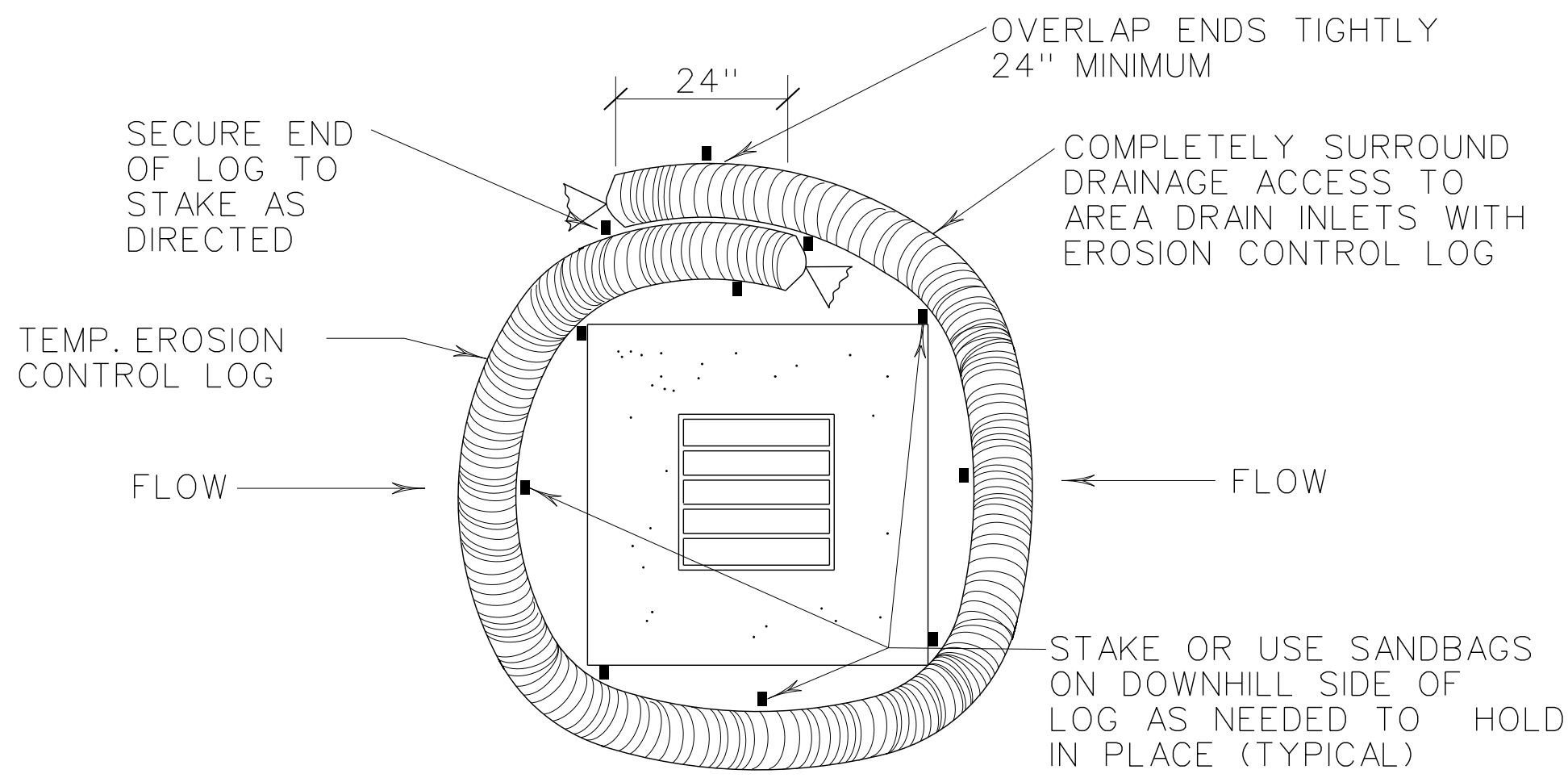
INFRASTRUCTURE
TEXAS BOARD OF PROFESSIONAL
ENGINEERS #: F-1582

EC(9)-16

100% SUBMITTAL

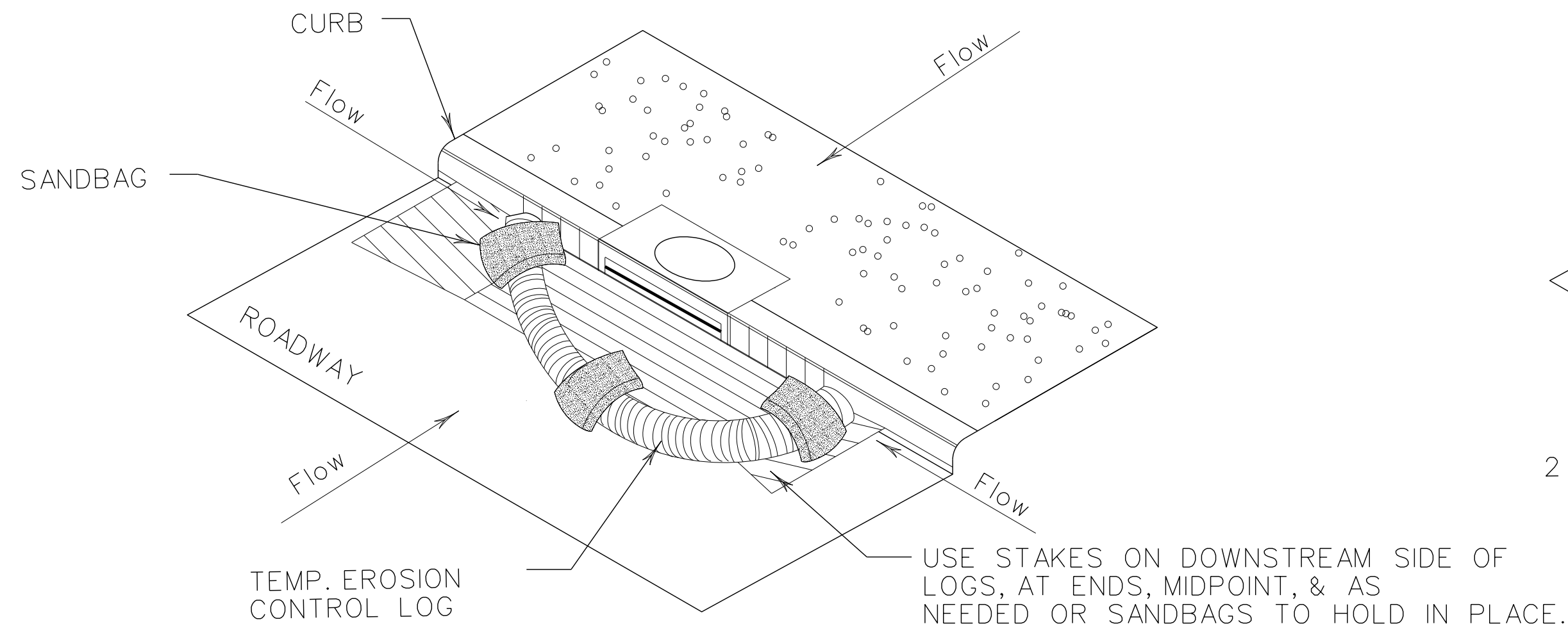
C121

DISCLAIMER:
The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



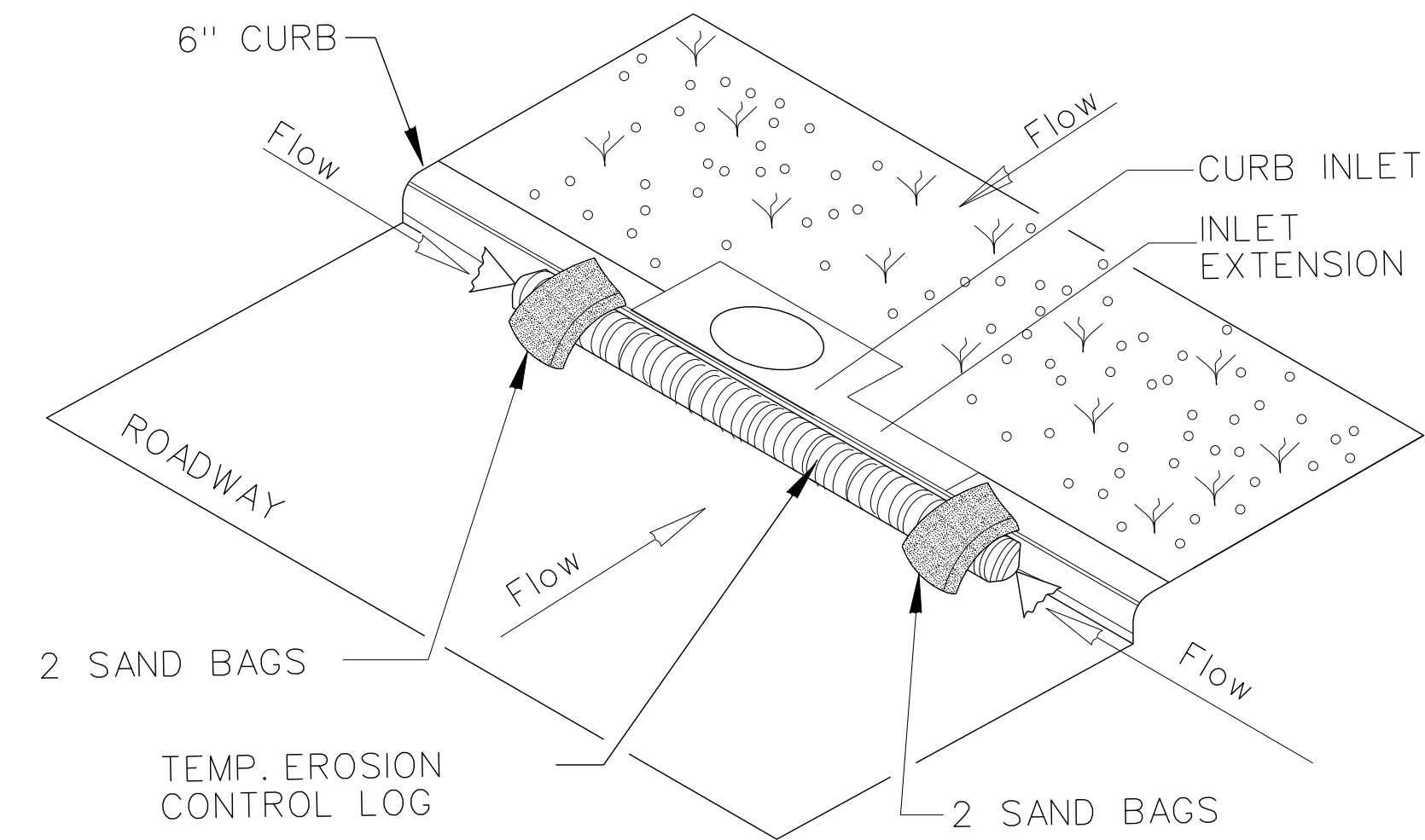
EROSION CONTROL LOG AT DROP INLET

CL-DI



EROSION CONTROL LOG AT CURB INLET

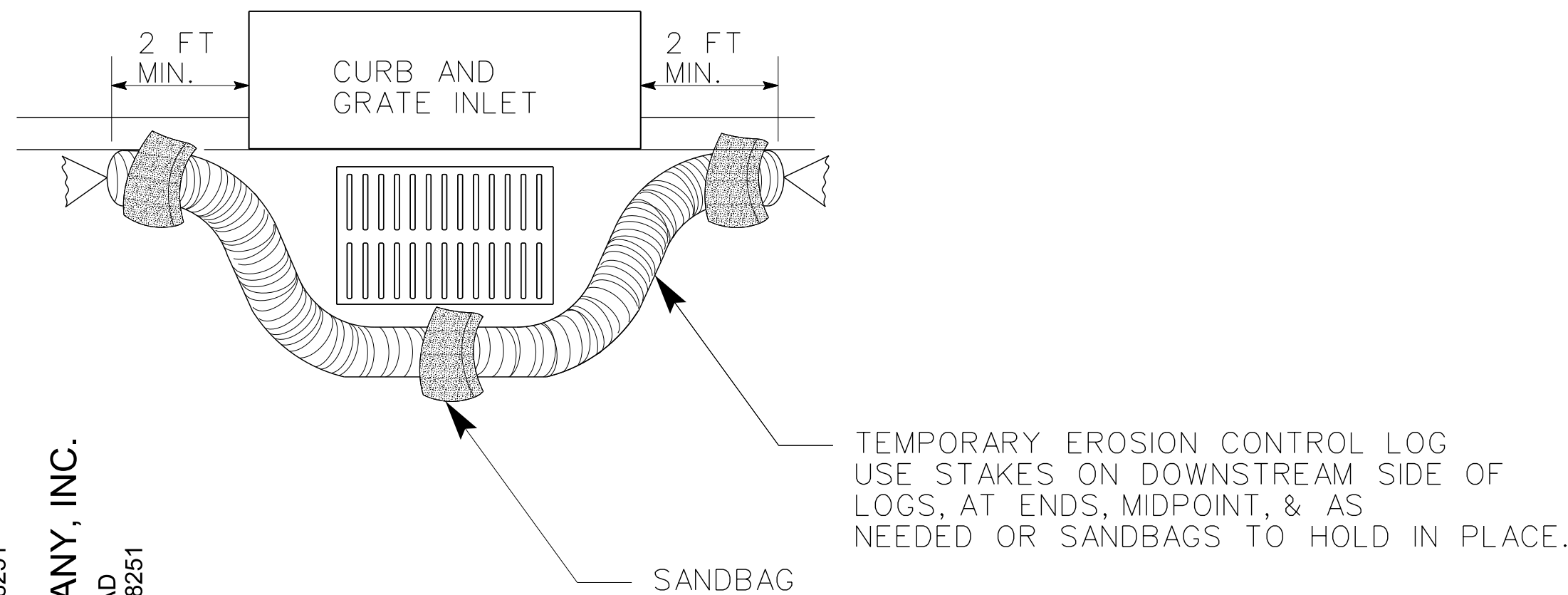
CL-CI



EROSION CONTROL LOG AT CURB INLET

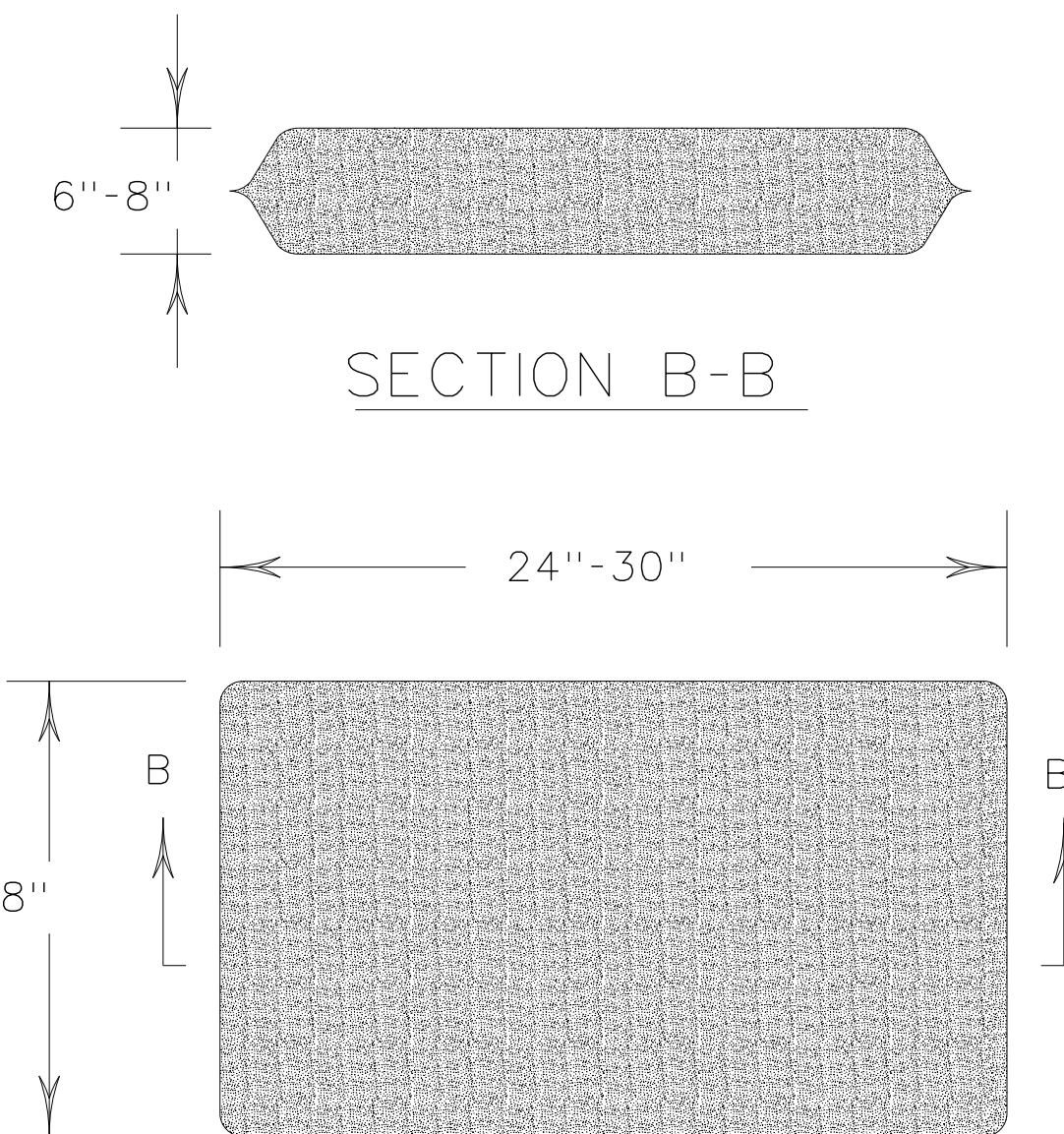
CL-CI

NOTE:
EROSION CONTROL LOGS USED AT CURB INLETS
SHOULD ONLY BE USED IF THEY WILL NOT IMPEDE
TRAFFIC OR FLOOD THE ROADWAY OR WHEN THE
STORM SEWER SYSTEM IS NOT FULLY FUNCTIONAL.



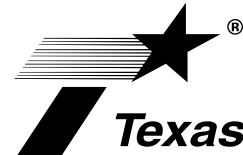
CONTROL LOG AT CURB & GRADE INLET

CL-GI



SANDBAG DETAIL

SHEET 3 OF 3

 Texas Department of Transportation		Design Division Standard			
TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC(9)-16					
FILE: ec916		DN: TxDOT	CK: KM	DW: LS/PT	CK: LS
© TxDOT: JULY 2016		CONT	SECT	JOB	HIGHWAY
REVISIONS					
		DIST	COUNTY		SHEET NO.

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJA. STEVE J. PATMON, ARCHITECT, ANY DISTRIBUTION TO NON-SJA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

Revisions	
#	Description

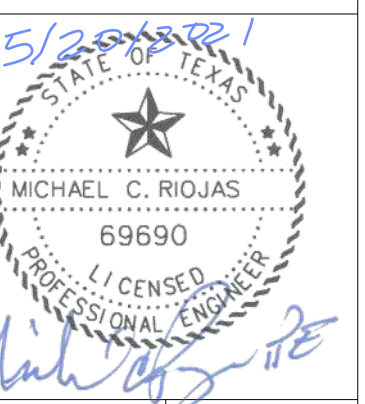
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJA, LLC.
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE, LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY



TEXAS BOARD OF PROFESSIONAL ENGINEERS # F-1582

EC(9)-16

100% SUBMITTAL

C122



OVER
1/8" = 1' 0"

OVERALL DEMOLITION SITE PLAN

1/8 = 1-0

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS, PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES OR MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).

[illegible]

CONSULTANT:

ARCHITECT

STEVE J. PATMON, AIA
S/JPA, LLC
545 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING

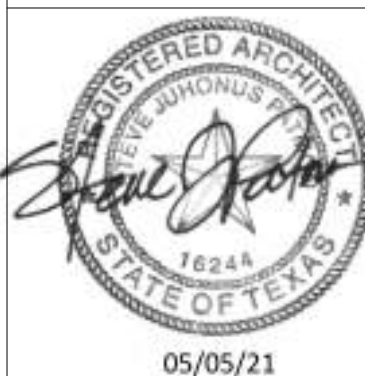
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING

JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP

LORENZO SANCHEZ
CLEARLY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

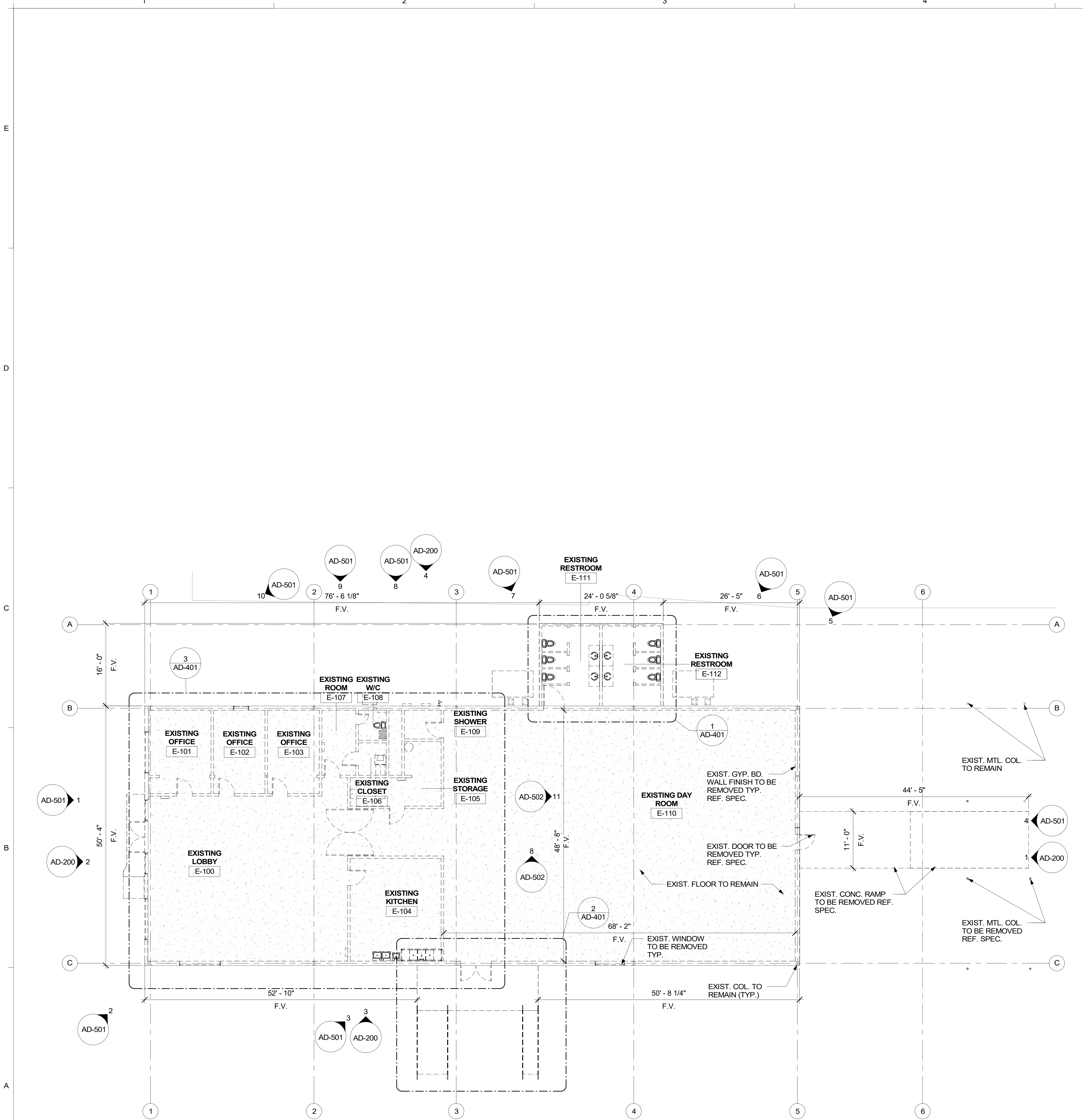
FRIEO COUNTY

OVERALL DEMOLITION SITE PLAN

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED AS CONFIDENTIAL INFORMATION. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, COPIED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SUPA STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SUPA CONSULTANTS, ENTITY OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

AD-100



GENERAL NOTES (GN)

- 1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- 2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- 3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- 4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- 5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- 6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- 7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions	
#	Description

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

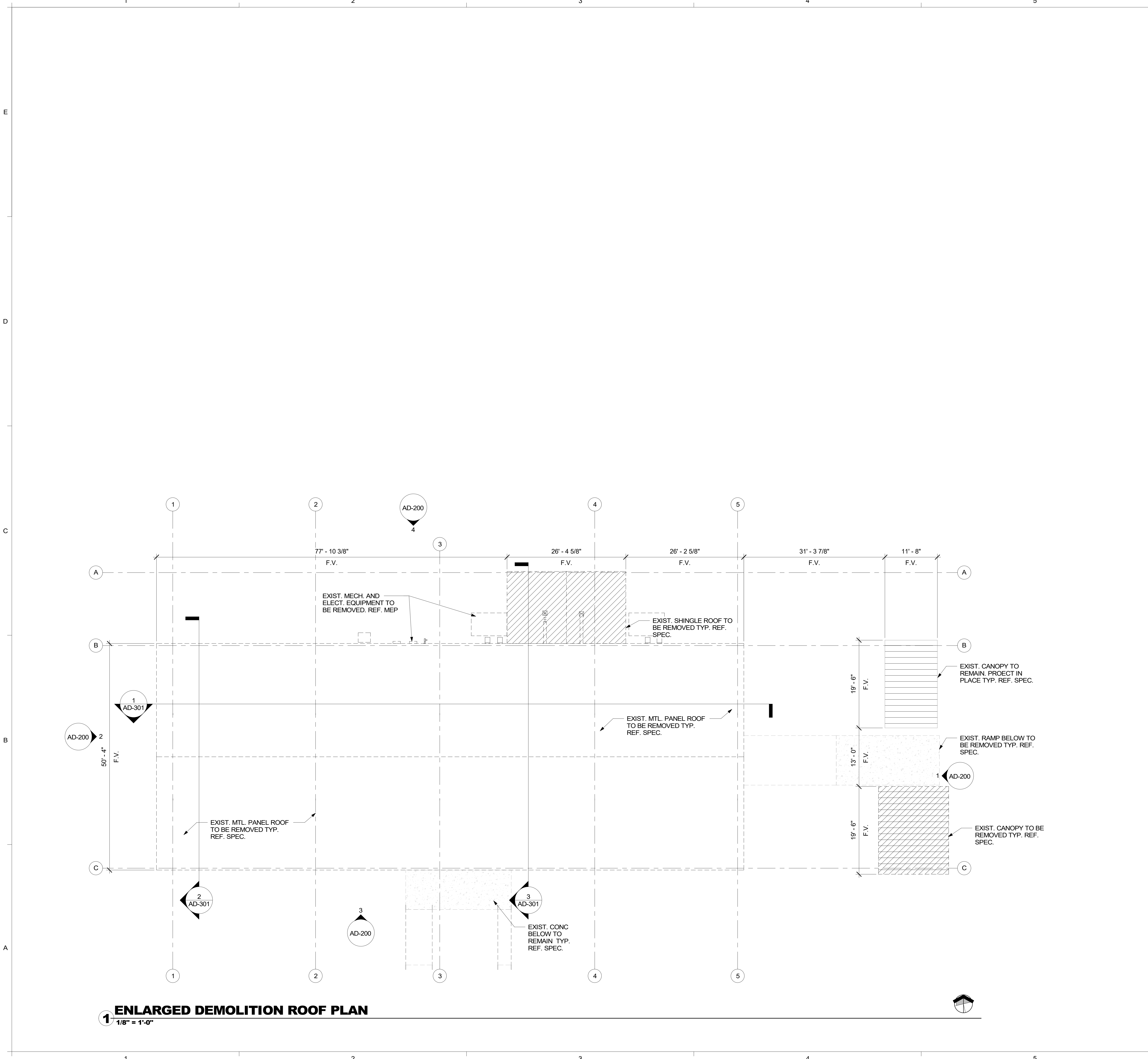
FRIO COUNTY

ENLARGED
DEMO FLOOR
PLAN

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

AD-101

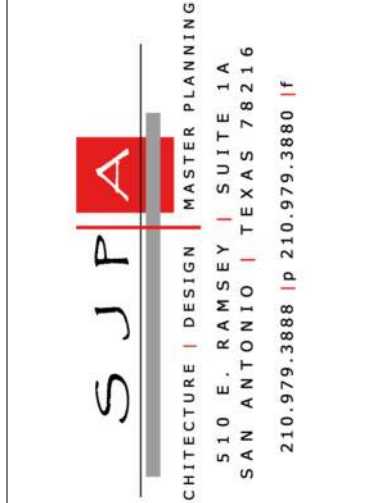
PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 ENLARGED DEMOLITION ROOF PLAN
1/8" = 1'-0"

GENERAL NOTES (GN)

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions

#	Description	Date

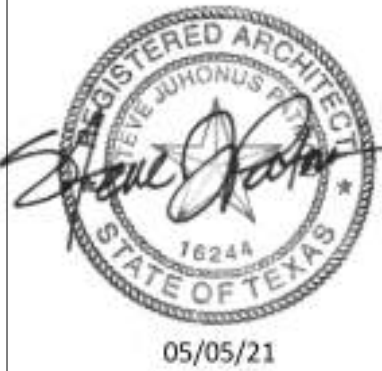
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

**ENLARGED
DEMOLITION
ROOF PLAN**

IFC SUBMITTAL

Scale: As Indicated

020-004-000

05/05/2021

AD-102

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

E

D

C

B

A

1

2

3

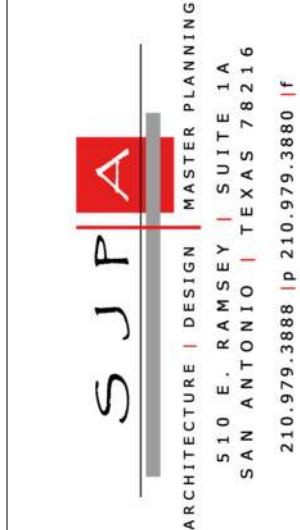
4

5

6

GENERAL NOTES (GN)

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions		
#	Description	Date

CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

FRIO COUNTY

DEMO
ELEVATIONS

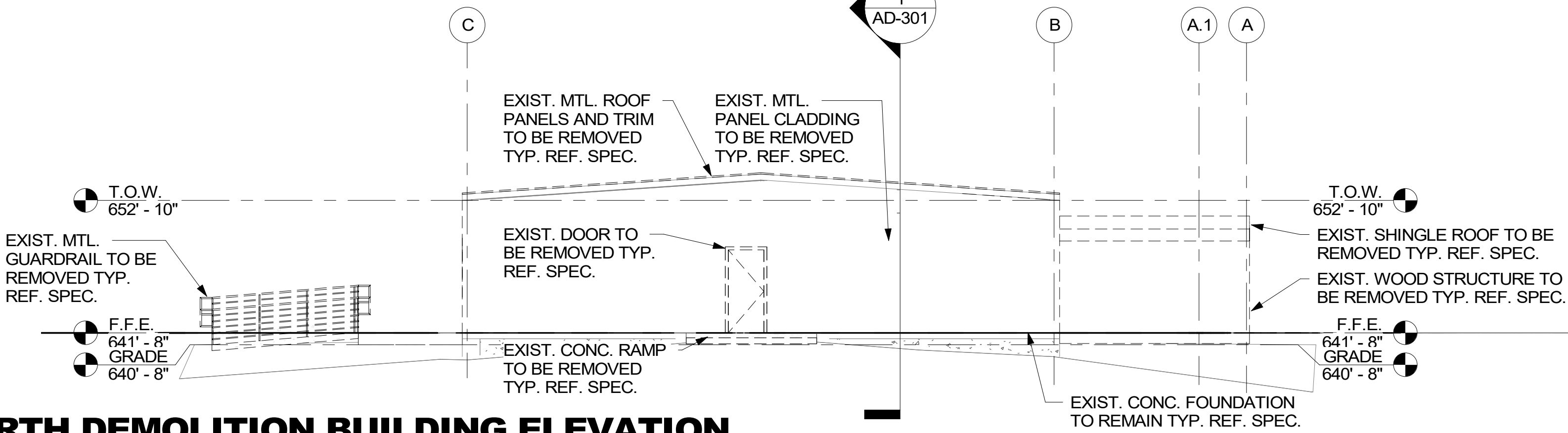
IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

AD-200

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

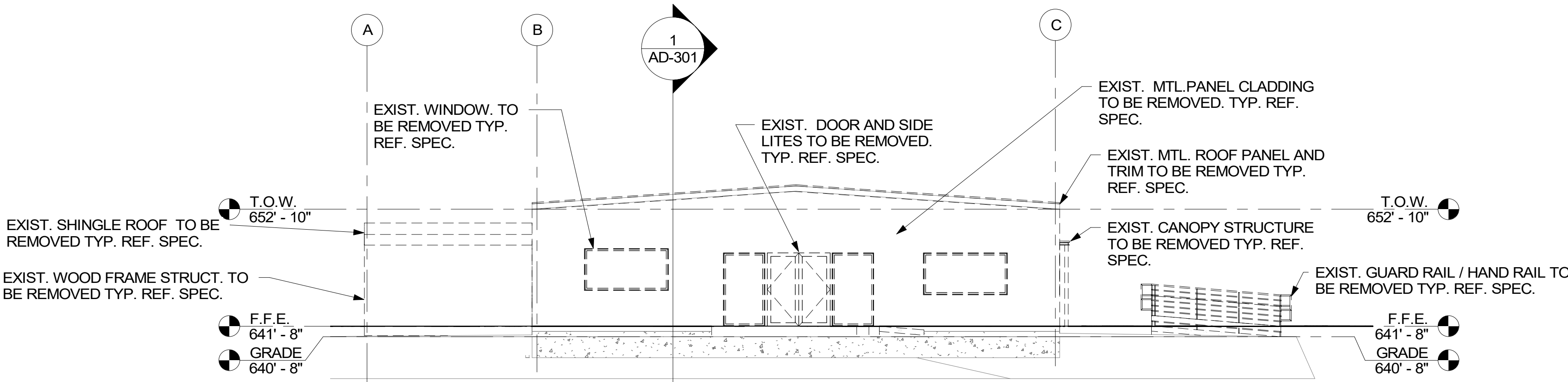
1 NORTH DEMOLITION BUILDING ELEVATION

1/8" = 1'-0"



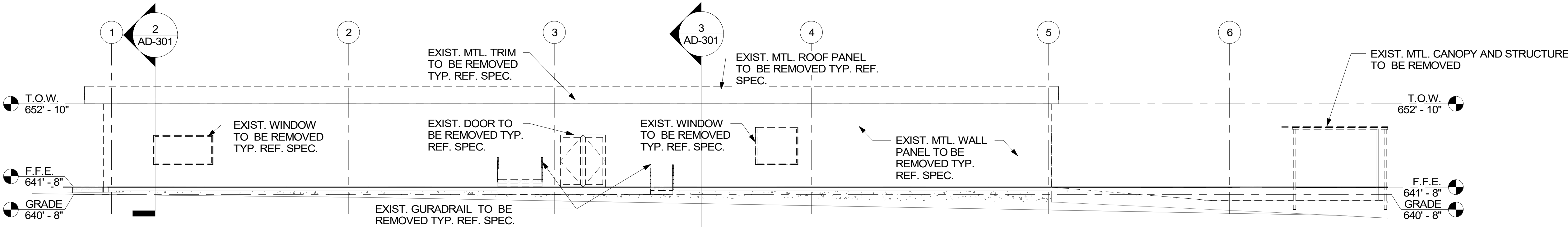
2 SOUTH DEMOLITION BUILDING ELEVATION

1/8" = 1'-0"



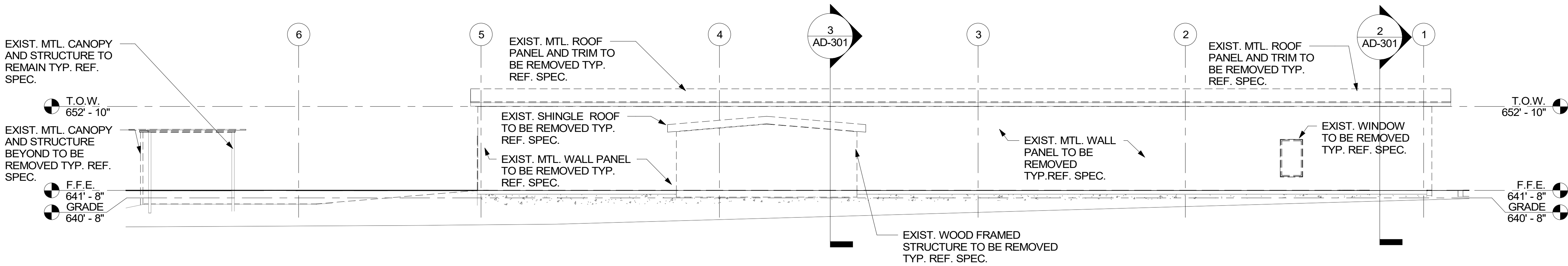
3 EAST DEMOLITION BUILDING ELEVATION

1/8" = 1'-0"



4 WEST DEMOLITION BUILDING ELEVATION

1/8" = 1'-0"





1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDOLTS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMMUNICATED AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).

[illegible]

CONSULTANTS

ARCHITECT

STEVE J. PATMON, AIA
S.J.P.A. LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING

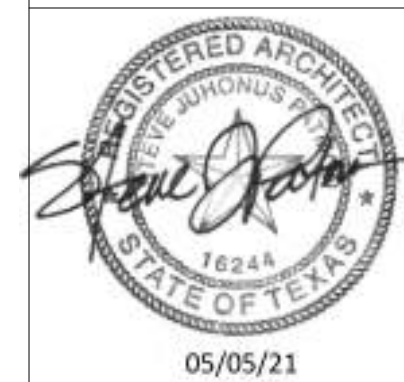
JOE M. CASTRO JR.
S&B INFRASTRUCTURE, LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 736-5800

STRUCTURAL ENGINEERING

JIE LIU
S&B INFRASTRUCTURE,
LTD.
15160 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP

LORENZO SANCHEZ
CLEARY ZIMMERMAN
ENGINEERS
1301 S. RIVERSIDE
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

DEMO SECTIONS

IFC SUBMITTAL

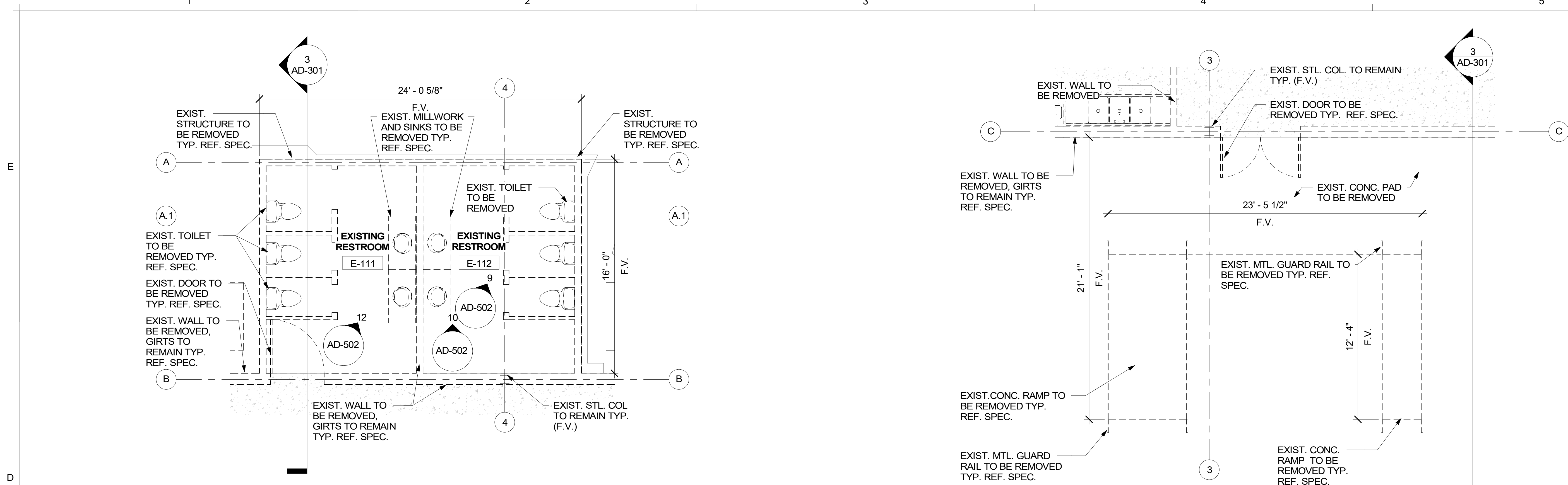
Scale: As Indicated

020-004-000

05/05/2021

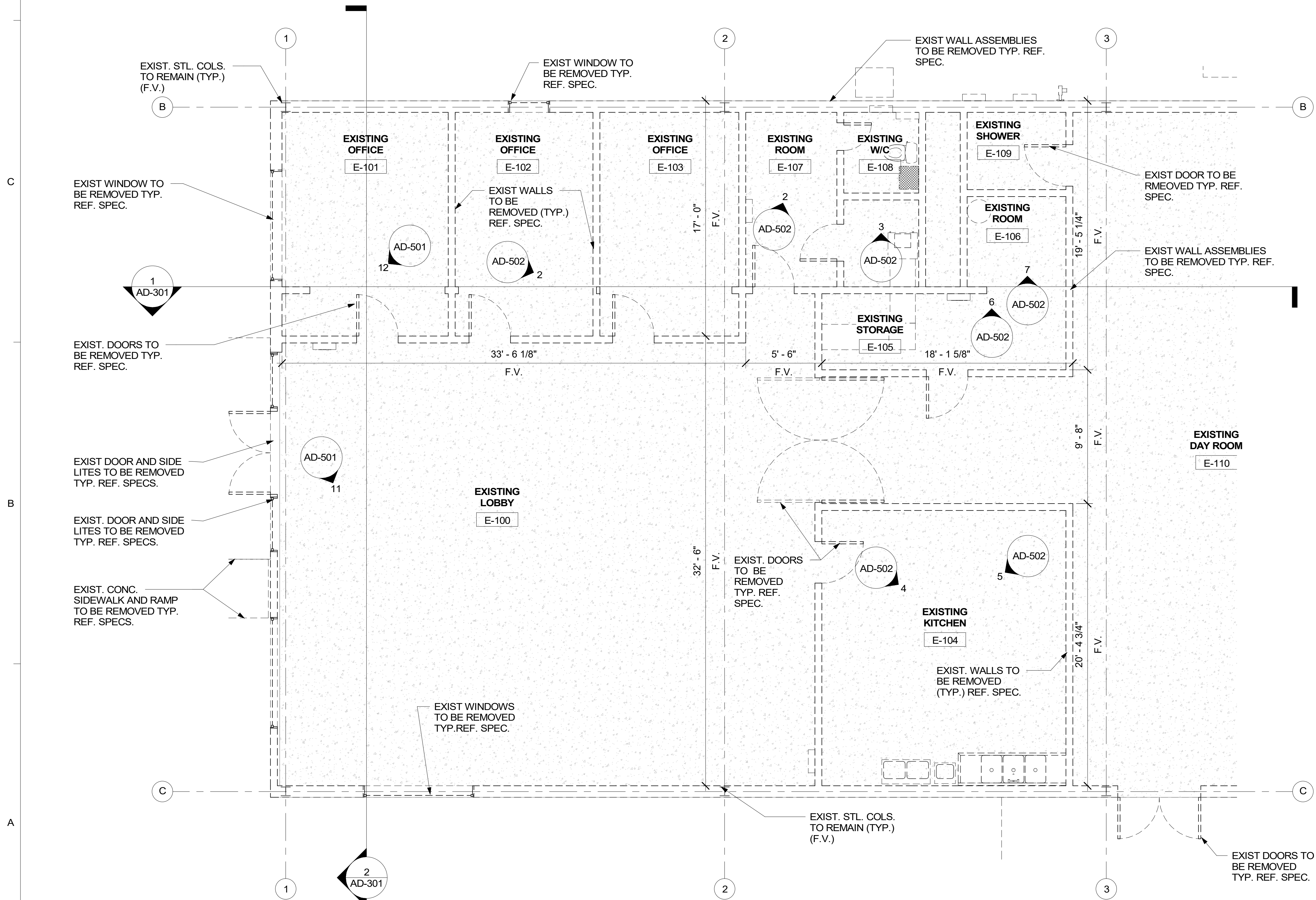
AD-301

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THE DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 ENLARGED DEMOLITION TOILET PLAN
1/4" = 1'-0"

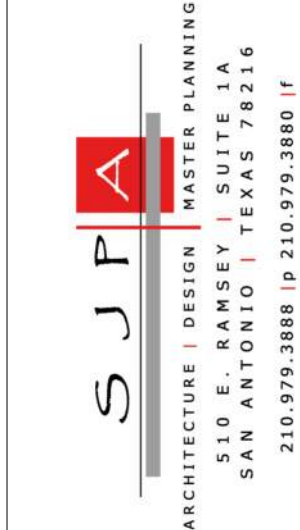
2 ENLARGED DEMOLITION RAMP PLAN
1/4" = 1'-0"



3 ENLARGED DEMOLITION FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES (GN)

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL, MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions

#	Description	Date

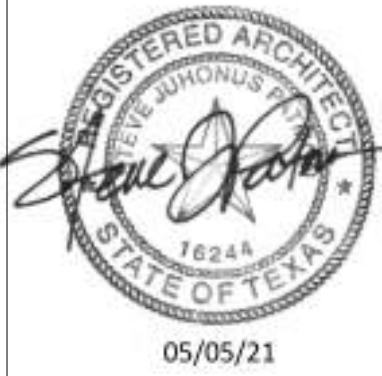
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SIPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061

Frio County

ENLARGED DEMOLITION FLOOR PLANS

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

AD-401

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SIPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SIPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 SITE IMAGE
N.T.S.



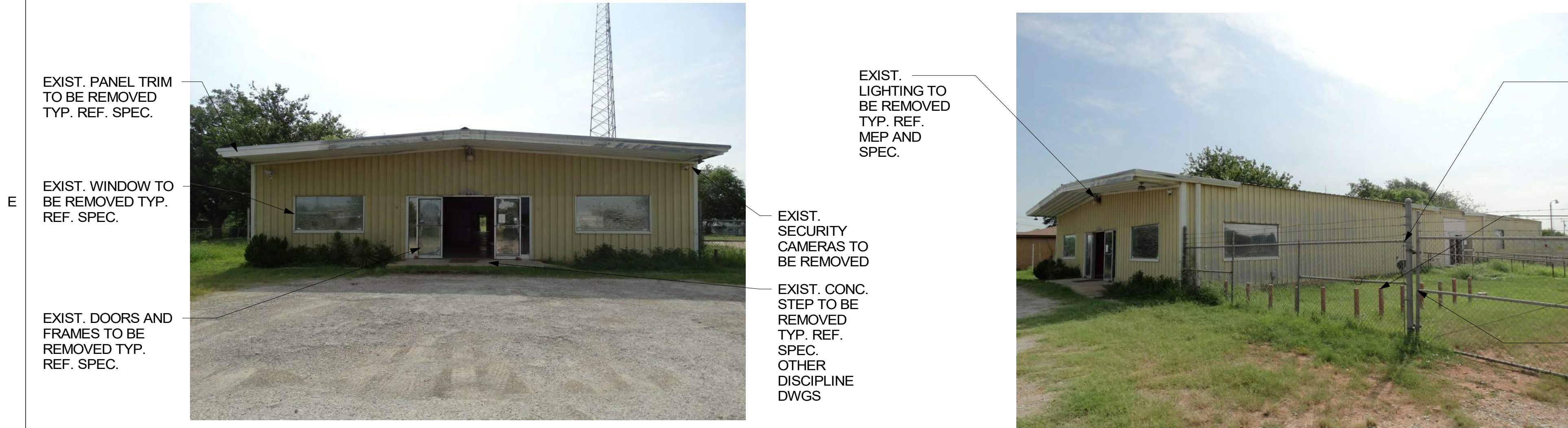
4 SITE IMAGE
N.T.S.



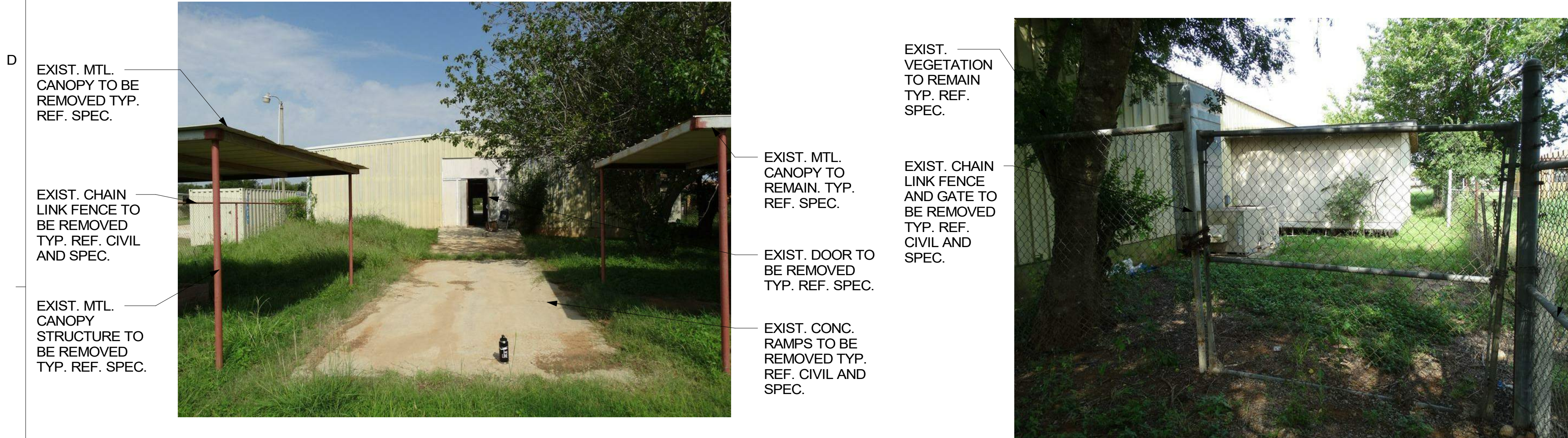
7 SITE IMAGE
N.T.S.



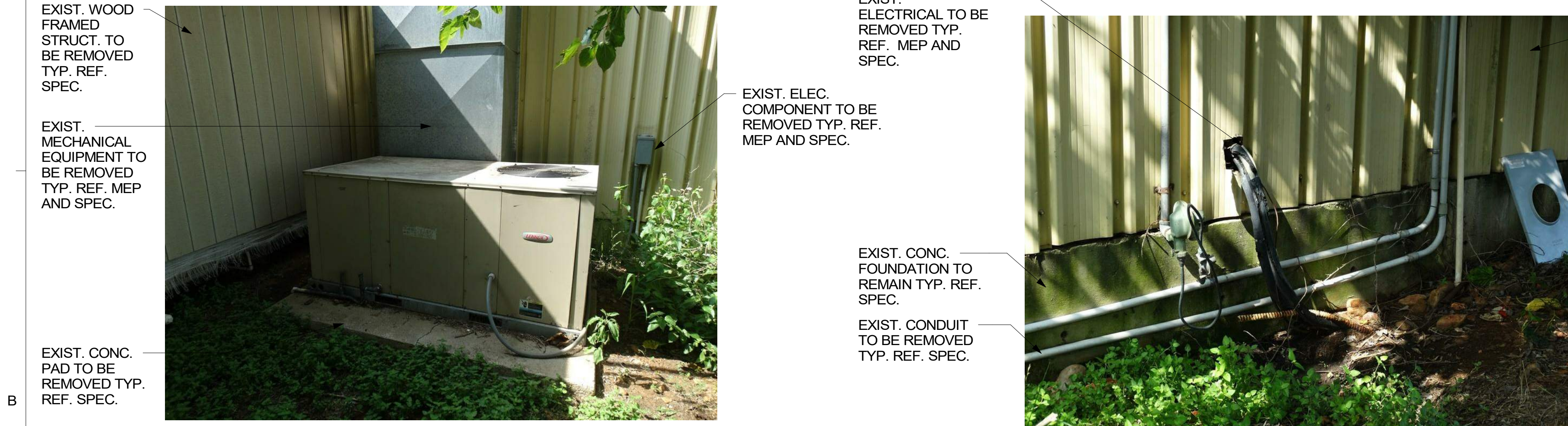
10 SITE IMAGE
N.T.S.



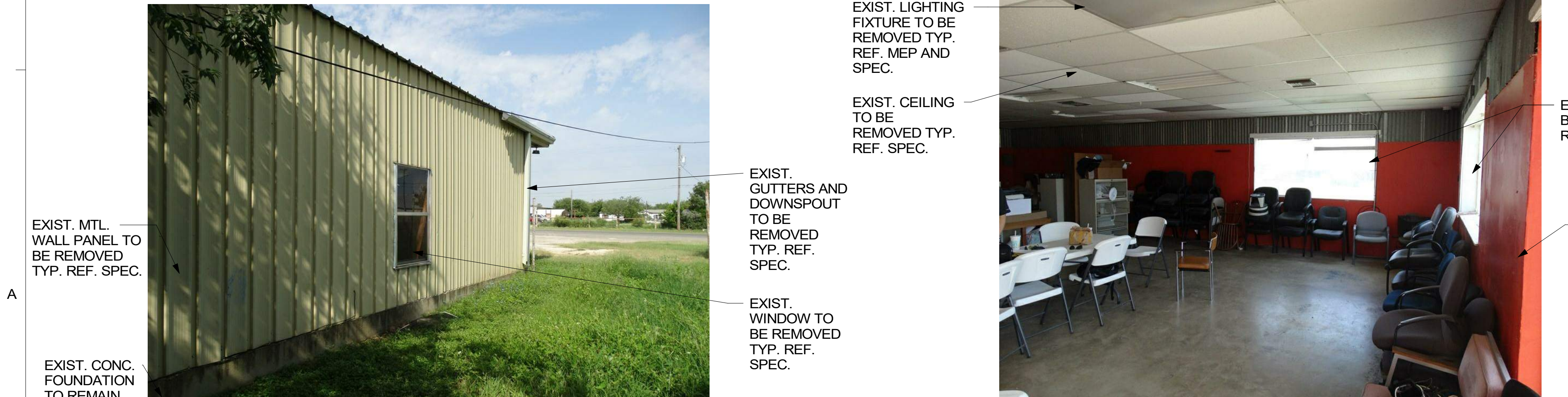
2 SITE IMAGE
N.T.S.



5 SITE IMAGE
N.T.S.



8 SITE IMAGE
N.T.S.



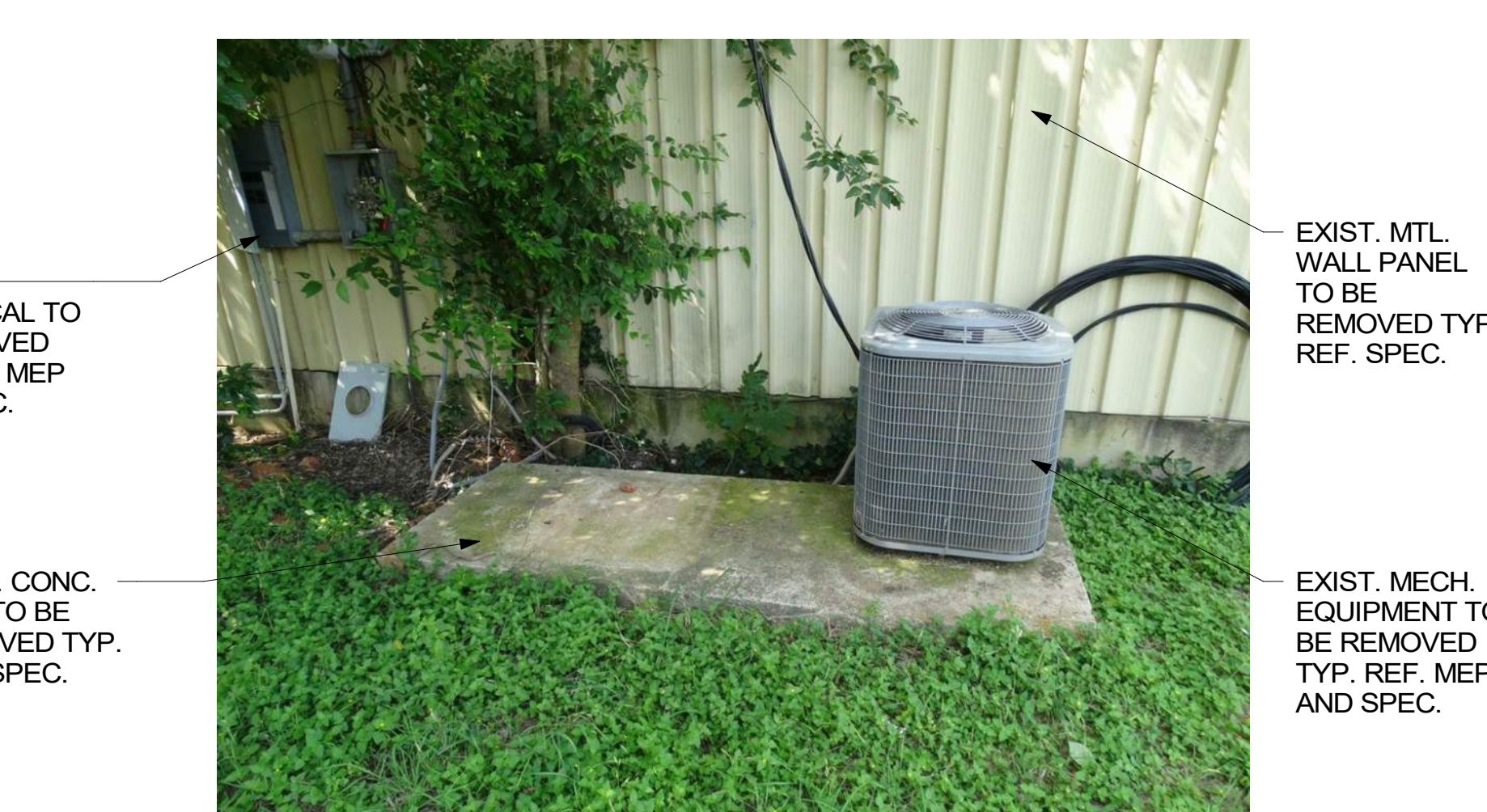
11 SITE IMAGE
N.T.S.



3 SITE IMAGE
N.T.S.



6 SITE IMAGE
N.T.S.



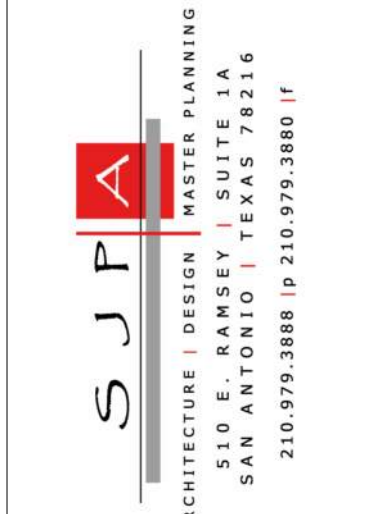
9 SITE IMAGE
N.T.S.



12 SITE IMAGE
N.T.S.

GENERAL NOTES (GN)

- REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL, MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions	
#	Description

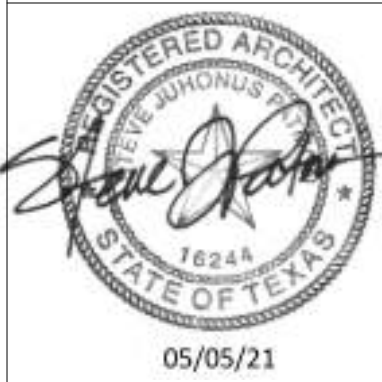
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARLY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSCALL, TX 78061
FRIO COUNTY

SITE IMAGES

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

AD-501

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 SITE IMAGE
N.T.S.



2 SITE IMAGE
N.T.S.



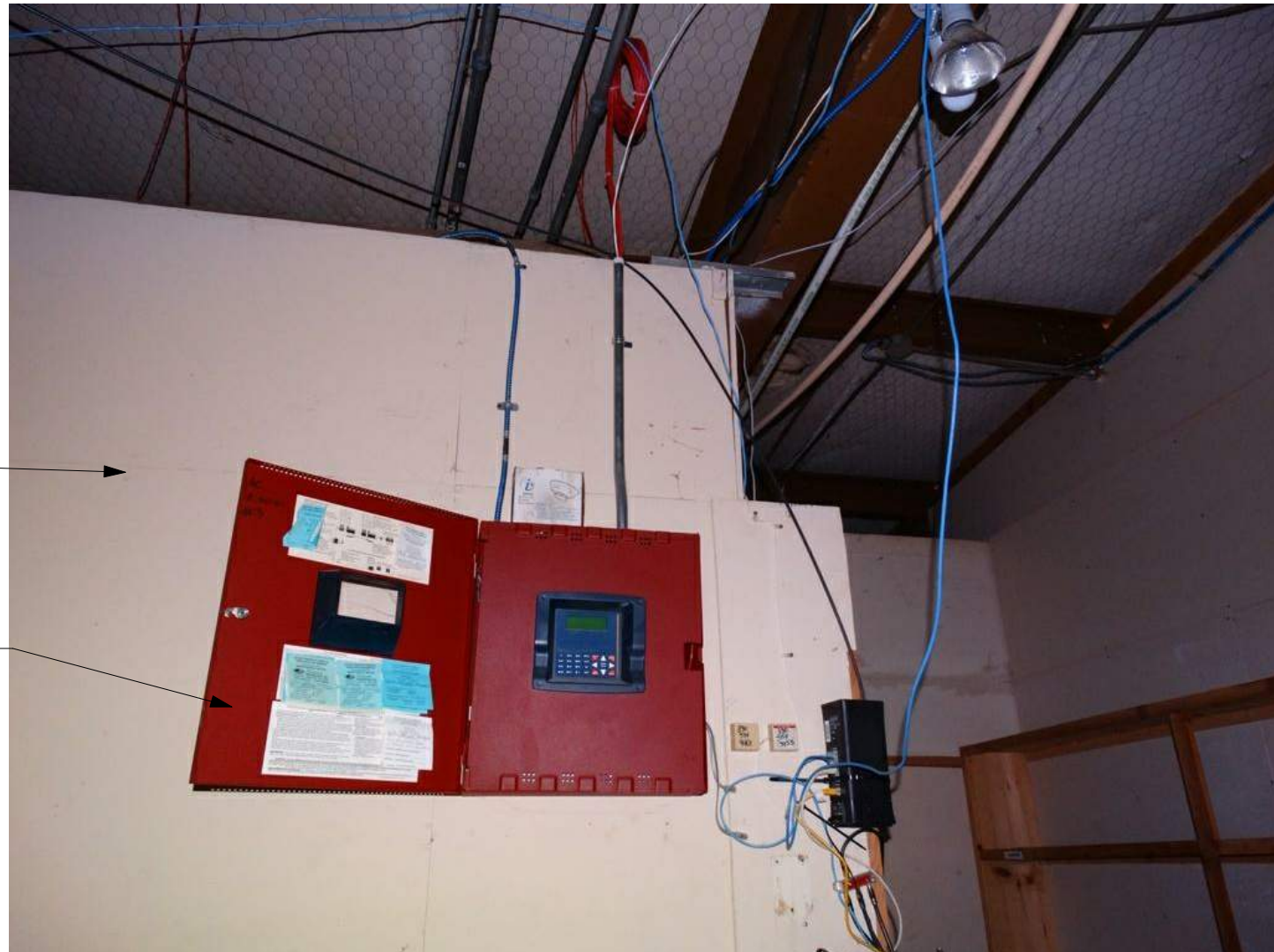
3 SITE IMAGE
N.T.S.



4 SITE IMAGE
3/4" = 1'-0"



5 SITE IMAGE
3/4" = 1'-0"



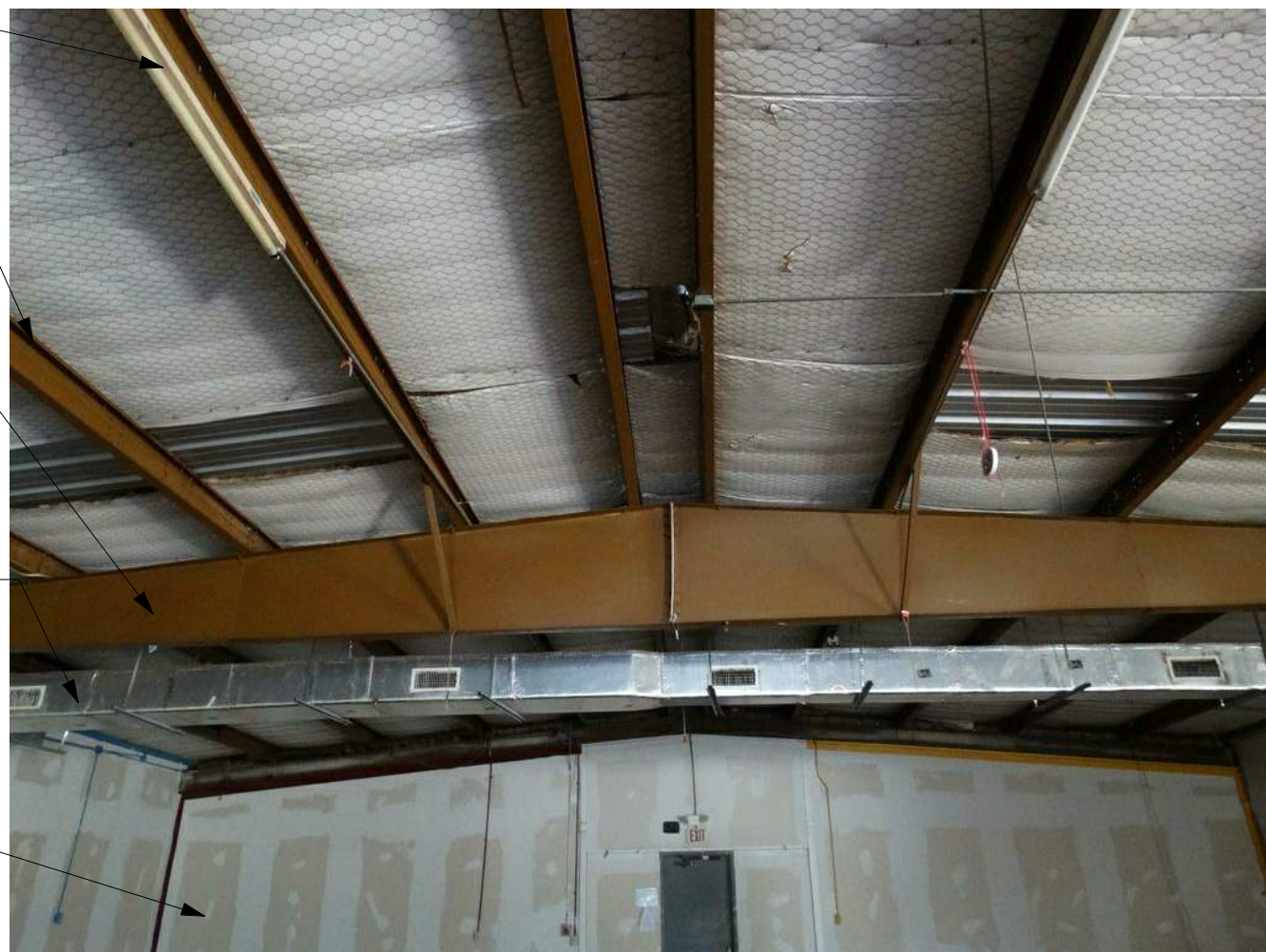
6 SITE IMAGE
3/4" = 1'-0"



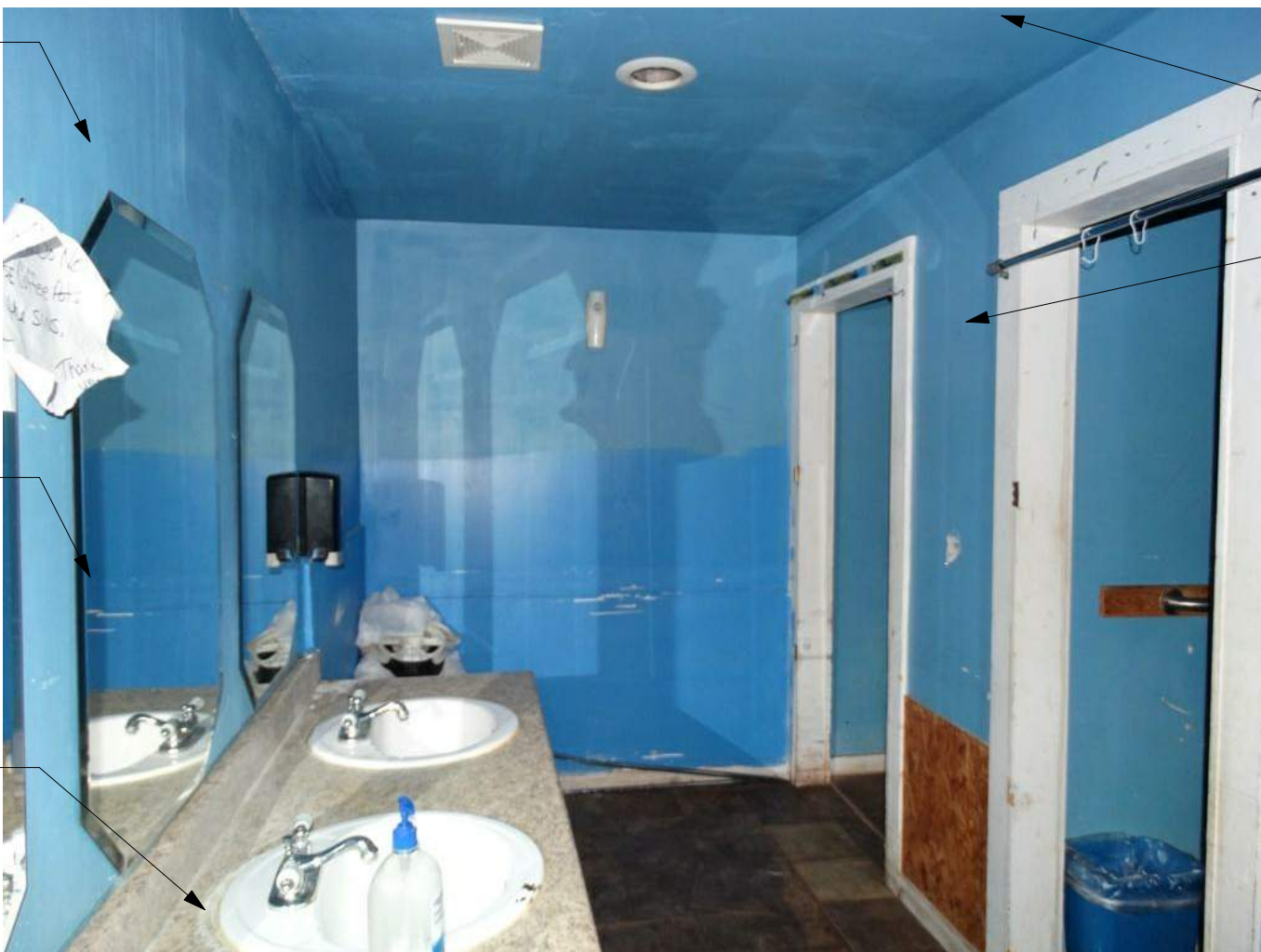
7 SITE IMAGE
3/4" = 1'-0"



8 SITE IMAGE
3/4" = 1'-0"



9 SITE IMAGE
3/4" = 1'-0"



10 SITE IMAGE
3/4" = 1'-0"



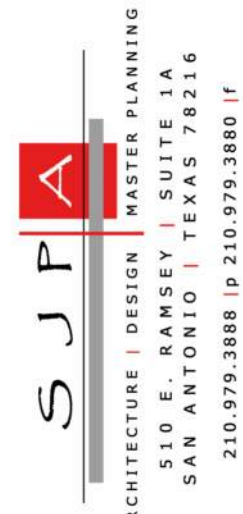
11 SITE IMAGE
3/4" = 1'-0"



12 SITE IMAGE
3/4" = 1'-0"

GENERAL NOTES (GN)

- REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions

#	Description	Date

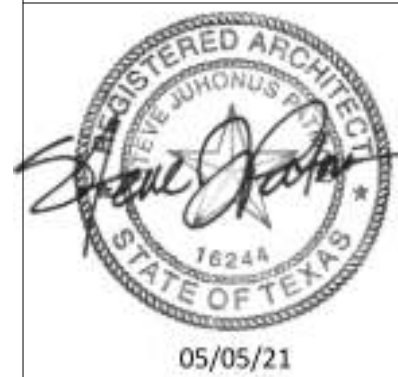
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

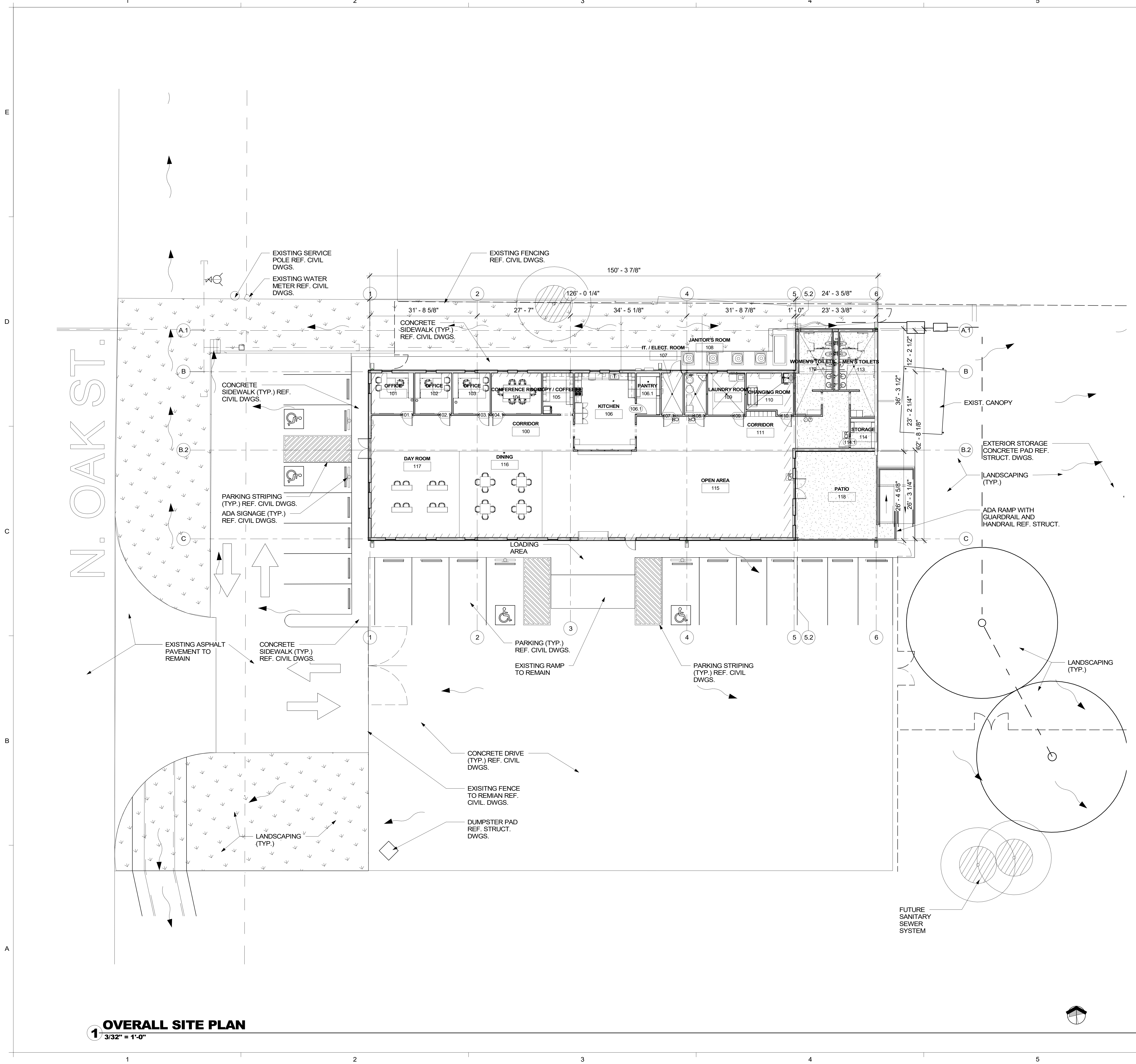
FRIO COUNTY

SITE IMAGES

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

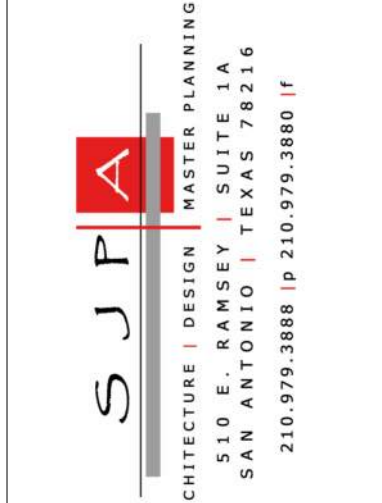
AD-502

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



GENERAL NOTES (GN)

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions	
#	Description

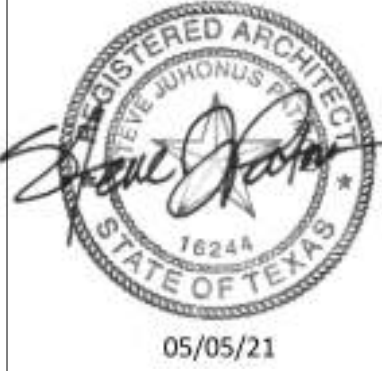
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5806 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5600

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



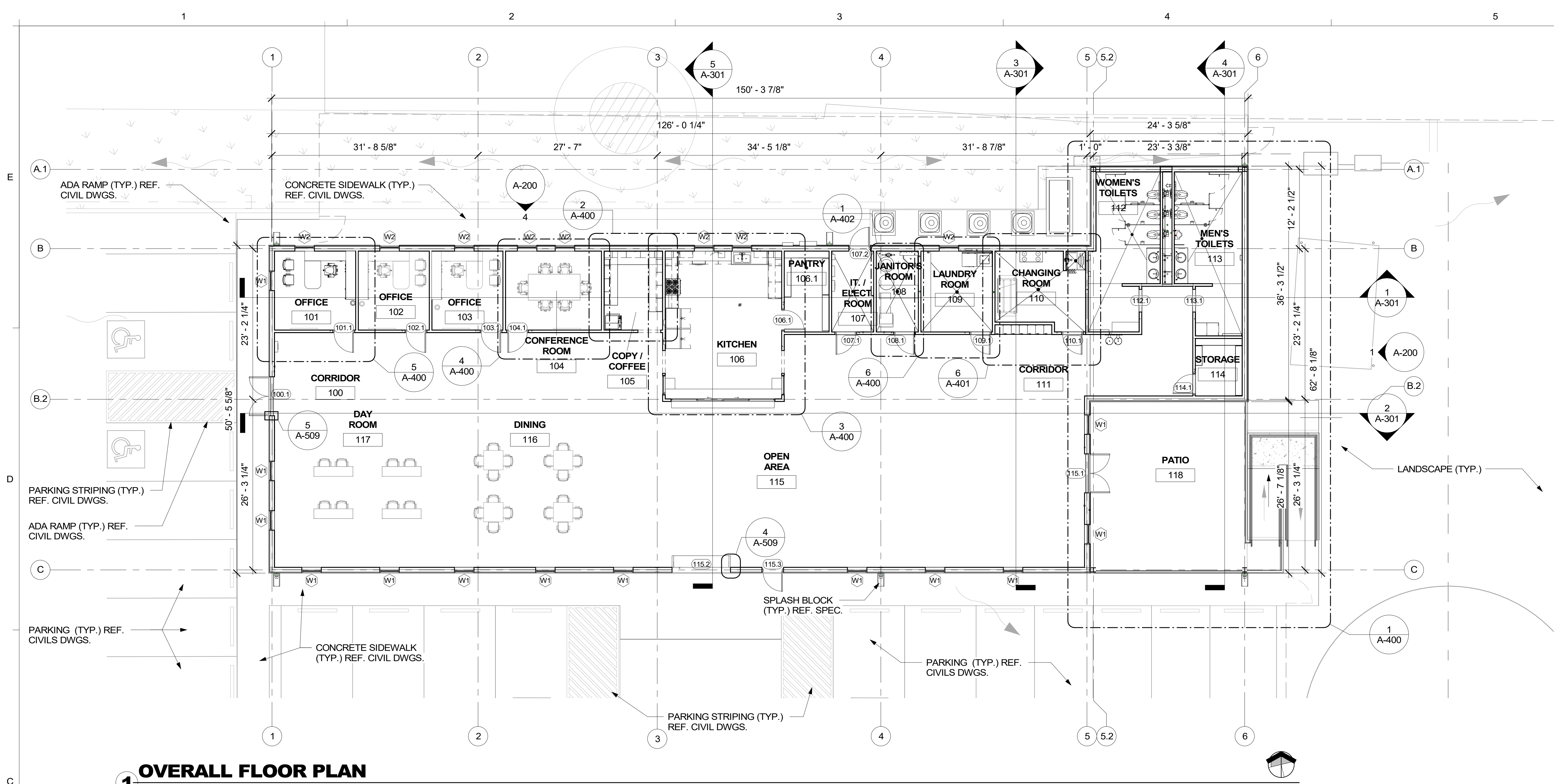
CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

OVERALL SITE PLAN

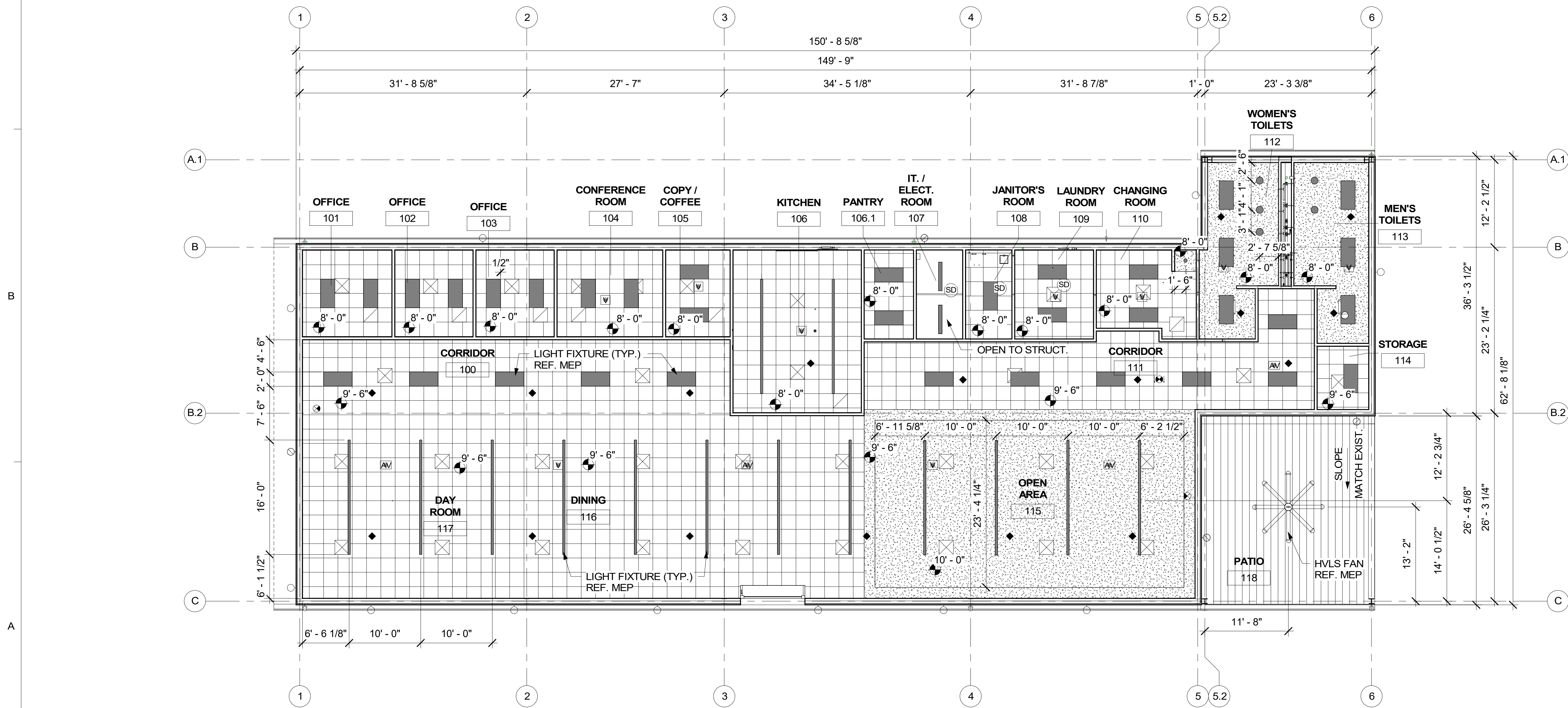
IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



1 OVERALL FLOOR PLAN

1/8" = 1'-0"



RCP LEGEND:

- GYP. BD. CEILING
- 2' X 4' LAY-IN ACOUSTICAL CLNG.
- PREFIN. MTL. SOFFIT

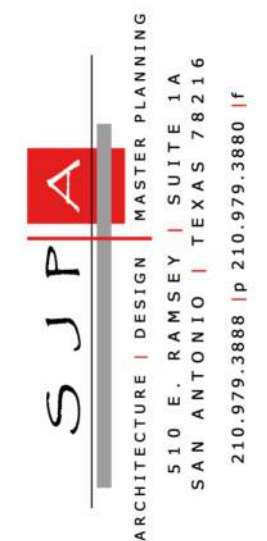
REFER MEP DRAWINGS FOR SYMBOL LEGEND

2 OVERALL REFLECTED CEILING PLAN

1/8" = 1'-0"

GENERAL NOTES (GN)

- REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
- DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
- CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
- NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
- ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
- WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
- CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions

#	Description	Date

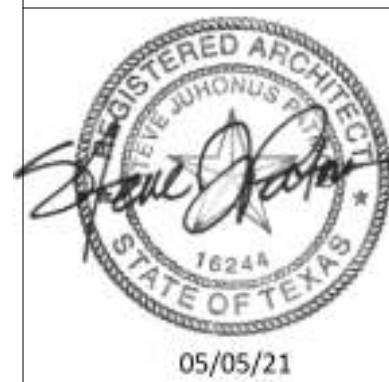
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 14
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5806 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100

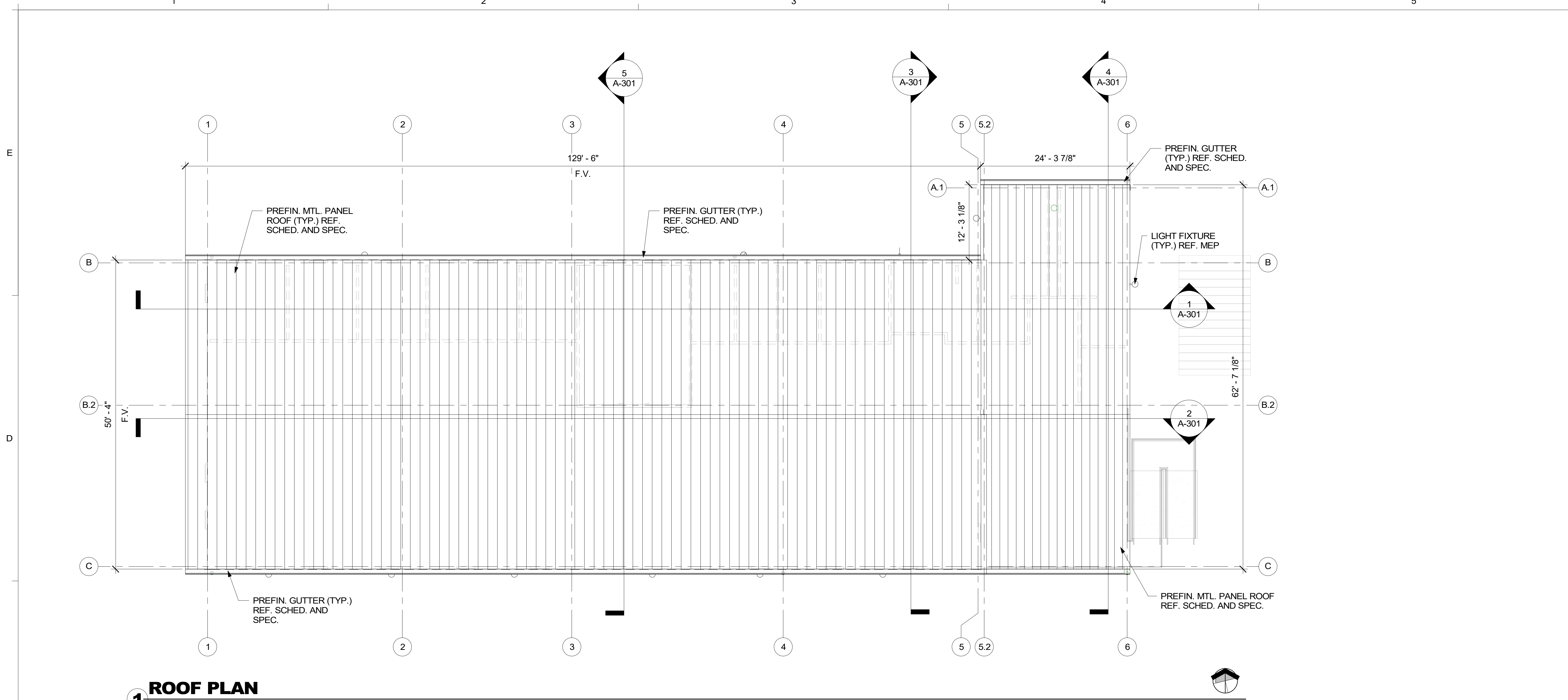


CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061
FRIO COUNTY

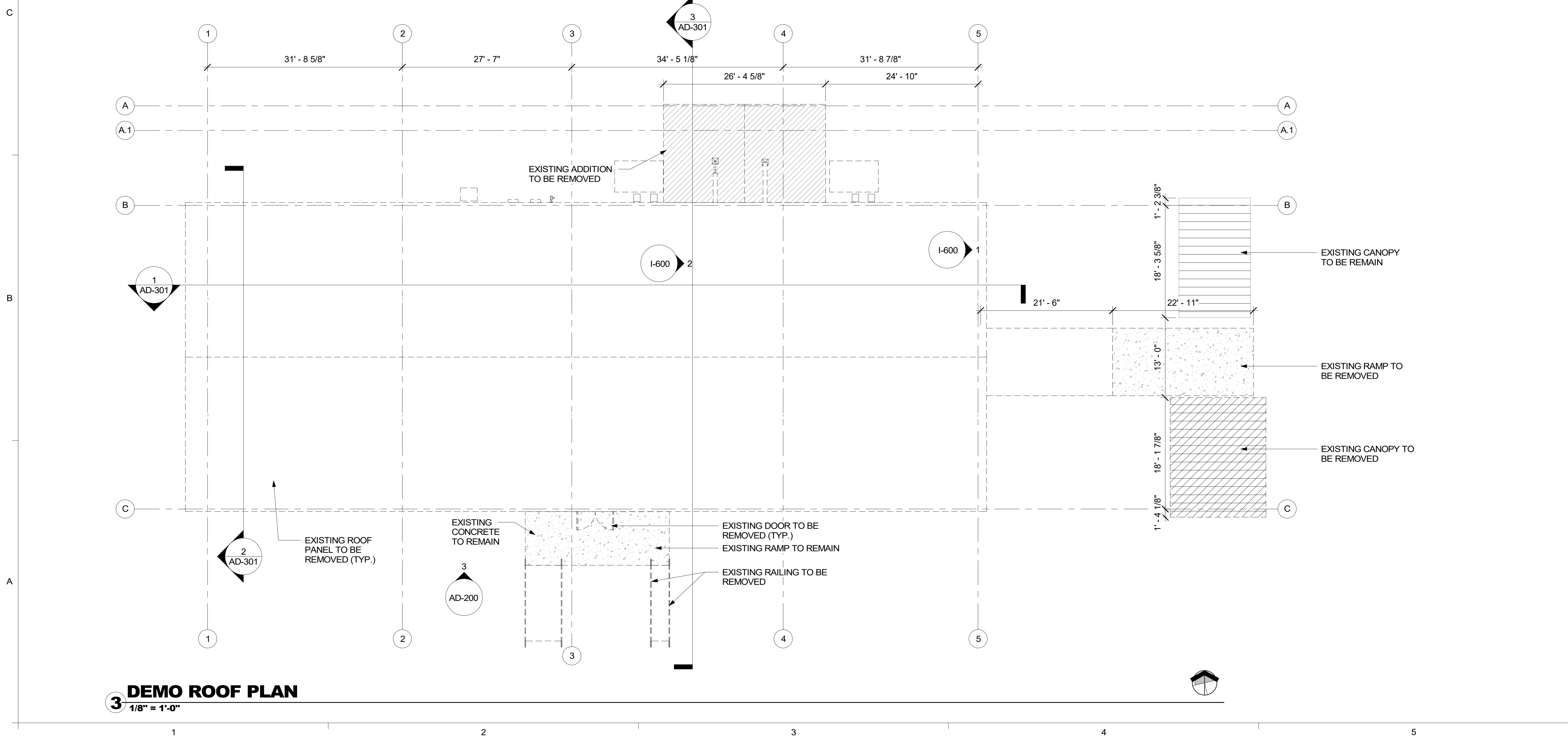
OVERALL FLOOR PLAN AND RCP

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.



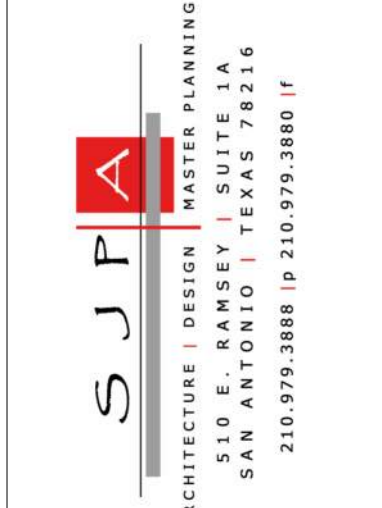
1 ROOF PLAN
1/8" = 1'-0"



3 DEMO ROOF PLAN
1/8" = 1'-0"

GENERAL NOTES (GN)

1. REFERENCE SHEET G-SHEETS FOR ACCESSIBILITY COMPLIANCE REQUIREMENTS AND NOTES FOR DEMOLITION, EXCAVATION AND GENERAL CONSTRUCTION.
2. DO NOT ATTEMPT TO OBTAIN DIMENSIONS BY MEASURING DRAWINGS. WHERE ADDITIONAL DIMENSIONING IS NEEDED, CONTACT ARCHITECT TO OBTAIN DIMENSIONS. OTHERWISE, DIMENSIONS SHALL BE FIELD DETERMINED AND MEASURED AND VERIFIED PRIOR TO PROCEEDING WITH WORK IDENTIFIED.
3. CONFIRM AND COORDINATE ALL WORK WITH GENERAL CONTRACTOR'S CONSTRUCTION FIELD REPRESENTATIVE AS REQUIRED.
4. NEW EQUIPMENT INSTALLATION SHALL BE COORDINATED WITH OTHER DISCIPLINE DRAWINGS. PROVIDE ALL WORK AND COMPONENTS TO COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO TRIM, CONDUITS, CONTROLS AND ACCESSORIES.
5. ALL DEMOLITION/EXCAVATION WORK SHALL BE COORDINATED WITH OTHER DISCIPLINE DWGS AND WITH NEW WORK.
6. WHERE DIMENSIONS OR MOUNTING HEIGHTS DO NOT CORRELATE WITH DIMENSIONS, CLEARANCES AND MOUNTING HEIGHTS ON SHEET G-003.1 ADA COMPLIANCE, CONTACT ARCHITECT FOR CLARIFICATION.
7. CONTRACTOR TO INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED COMPONENTS AND TOILET ACCESSORIES (REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION).



Revisions	
#	Description

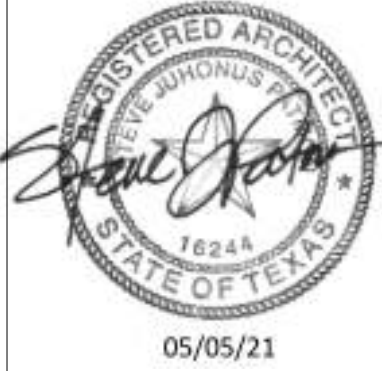
CONSULTANTS

ARCHITECT
STEVE J. PATMON, AIA
SJPA, LLC
510 EAST RAMSEY RD.,
SUITE 1A
SAN ANTONIO, TX 78216
PHONE: (210) 979-3888

CIVIL ENGINEERING
JOE M. CASTRO JR.
S&B INFRASTRUCTURE
LTD.
5805 CALLAGHAN ROAD,
SUITE 202
SAN ANTONIO, TX 78228
PHONE: (210) 706-5800

STRUCTURAL ENGINEERING
JIE LIU
S&B INFRASTRUCTURE,
LTD.
15150 MEMORIAL DRIVE
HOUSTON, TX 77079
PHONE: (713) 302-0700

MEP
LORENZO SANCHEZ
CLEARY ZIMMERMANN
ENGINEERS
1344 S. FLORES, SUITE 101
SAN ANTONIO, TX 78204
PHONE: (210) 447-6100



CAMINO REAL WORK FORCE CENTER
1796 IH 35 EAST, PEARSALL, TX 78061

FRIO COUNTY

**OVERALL
ROOF PLAN**

IFC SUBMITTAL
Scale: As Indicated
020-004-000
05/05/2021

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SJPA, STEVE J. PATMON, ARCHITECT. ANY DISTRIBUTION TO NON-SJPA CONSULTANTS, ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.